

Planning Committee Agenda



Reigate & Banstead
BOROUGH COUNCIL
Banstead | Horley | Redhill | Reigate

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14 January 2020

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To the Members of the PLANNING COMMITTEE

Councillors: D. Allcard (Chairman)

M. S. Blacker

J. S. Bray

H. Brown

P. Harp

J. Hudson

F. Kelly

J. P. King

S. A. Kulka

S. McKenna

R. Michalowski

S. Parnall

C. Stevens

R. S. Turner

S. T. Walsh

Substitutes

Councillors:

Conservatives:

Residents' Group:

Green Party:

Liberal Democrats

R. Absalom, N. C. Moses, J. Paul and K. Sachdeva

G. Adamson, R. J. Feeney, R. Harper, N. D. Harrison and
C. T. H. Whinney

J. C. S. Essex, S. L. Fenton, R. Ritter and S. Sinden

D. A. Ross

For a meeting of the **PLANNING COMMITTEE** to be held on **WEDNESDAY, 22
JANUARY 2020** at **7.30 pm** in the New Council Chamber - Town Hall, Reigate.

John Jory
Chief Executive

1. MINUTES

(Pages 7 - 10)

To confirm as a correct record the Minutes of the previous meeting.

2. APOLOGIES FOR ABSENCE

To receive any apologies for absence.

3. DECLARATIONS OF INTEREST

To receive any declarations of interest.

4. ADDENDUM TO THE AGENDA

(To Be Tabled)

To note the addendum tabled at the meeting which provides an update on the agenda of planning applications before the Committee.

PLANNING APPLICATIONS:

NOTES:

1. The order in which the applications will be considered at the meeting may be subject to change.
2. Plans are reproduced in the agenda for reference purposes only and are not reproduced to scale. Accordingly dimensions should not be taken from these plans and the originals should be viewed for detailed information. Most drawings in the agenda have been scanned, and reproduced smaller than the original, thus affecting image quality.

To consider the following applications :

5. 19/01513/F WALTON HEATH GOLF CLUB, DEANS LANE, WALTON ON THE HILL

Erection of a new clubhouse to serve Walton Heath Golf Course comprising a main clubhouse building, ancillary staff accommodation, an 'Artisans' clubhouse, car parking, associated hard and soft landscaping, putting green and a new access road from Dorking Road. As amended on 07/10/2019 and on 06/11/2019 and on 19/11/2019.

6. 19/01514/OUT WALTON HEATH GOLF CLUB, DEANS LANE, WALTON ON THE HILL

Outline planning application with all matters reserved (excluding access) for the demolition of the existing buildings and provision of up to 13 residential dwellings, residential amenity space, associated car parking, access and associated works.

7. 19/00875/S73 REIGATE COLLEGE, CASTLEFIELD ROAD, REIGATE, SURREY, RH2 0SD

Construction of new 2 storey business teaching block, part demolition of existing Holmesdale building with new pitched roof to retained part. Variation of condition 8 of permission 03/00711/F which states: No more than 1200 students are permitted on site at any one time.

8. 19/00990/F AND 19/00991/LBC BANSTEAD PLACE, PARK ROAD, BANSTEAD, SURREY SM7 3EE: 8A AND 8B

Change of use and external alterations including partial demolition to Banstead Place for residential use to create a total of 31 residential units across the site; Demolition of modern additions within site boundary and construction of part one and part two storey buildings for residential use; new car parking layout, and landscaping alterations within site boundary. Internal and external alterations to enable conversion and refurbishment of Banstead Place for residential use; Demolition of modern extensions to Banstead Place and replacement with residential units and new landscaping; Internal and external alterations to enable conversion and refurbishment of the Lodge for residential use and ancillary buildings for associated uses; Demolition of modern buildings and ancillary structures within the former walled garden and replacement with residential units and new landscaping; and restoration of existing Ha-Ha, reinstatement of woodland path and associated landscape improvements. As amended on 24/06/2019, on 25/09/2019, on 23/10/2019 and on 07/01/2020.

9. 19/02012/OUT CHAUCER COURT, 4 COLLEGE CRESCENT, REDHILL, RH1 2LN

Erection of a two storey block containing 8 x 1 bedroom flats for supported living with car parking (Outline application with all matters, apart from landscaping, to be considered).

10. DEVELOPMENT MANAGEMENT Q3 PERFORMANCE

To note the performance of Q3 of 2019/20.

11. ANY OTHER URGENT BUSINESS

To consider any item(s) which, in the opinion of the Chairman, should be considered as a matter of urgency.

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Agenda Item 1

Planning Committee
18 December 2019

Minutes

BOROUGH OF REIGATE AND BANSTEAD PLANNING COMMITTEE

Minutes of a meeting of the Planning Committee held at the New Council Chamber - Town Hall, Reigate on 18 December 2019.

Present: Councillors D. Allcard (Chairman), M. S. Blacker (Vice-Chair), J. S. Bray, P. Harp, J. Hudson, F. Kelly, J. P. King, S. A. Kulka, S. McKenna, R. Michalowski, C. Stevens, R. S. Turner, S. T. Walsh, R. Absalom (Substitute) and R. Ritter (Substitute)

71. MINUTES

RESOLVED that the minutes of the previous meeting held on 27th November 2019 be confirmed and signed as a correct record.

72. APOLOGIES FOR ABSENCE

Apologies for absence were received from Councillors H. Brown (substituted for by Councillor R. Ritter), and S. Parnall (substituted for by Councillor R. Absalom).

73. DECLARATIONS OF INTEREST

Councillor Blacker declared a non-pecuniary interest in Item 7: 19/01989/S73- Former Elgar Works, Nutfield Road, Merstham, Surrey, on the basis that his firm had been involved with design work for a previous development at the site, and did not participate in the discussion or vote for the item.

74. ADDENDUM TO THE AGENDA

RESOLVED that the addendum be noted.

75. 19/00397/F - LAND WEST OF WELLESFORD CLOSE, WELLESFORD CLOSE, BANSTEAD, SURREY, SM7 2HL

The Committee considered an application at land to the west of Wellesford Close, Banstead, Surrey for the construction of a 68-bed care home (use class C2), parking including car barn, access, landscaping and other associated works.

It was confirmed that the proposed condition 10 could be amended to require wheel washing of construction vehicles.

A motion to refuse the application was proposed and seconded and upon a vote it was:

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RESOLVED that planning permission be **REFUSED** on the grounds that:

1. The proposed development would, by virtue of its layout, siting, scale, bulk and massing of the building, result in an uncharacteristically dominant and cramped building within the street scene and an overdevelopment of the site which would be harmful to the character of the locality. This adverse effect would be exacerbated by the parking dominated frontage with lack of space for soft landscaping which would lead to a harsh transition to the open green belt land to the south and west. The proposal is therefore contrary to Policies CS1 and CS4 of the adopted Reigate and Banstead Core Strategy, Policies DES1 and NHE1 of the Reigate and Banstead Development Management Plan 2019, the Reigate and Banstead (Supplementary Planning Guidance) Local Distinctiveness Design Guide and the National Planning Policy Framework 2019.
2. It is considered that, due to the bulk and mass of the proposed building and its proximity to Wellesford Close, the proposed development would have an overbearing impact which would be harmful to the amenities of the occupiers of neighbouring properties. The development is thereby contrary to policy DES1 of the Development Management Plan 2019 and the Householder Extensions & Alterations SPG 2004.
3. The proposed development by virtue of its layout, scale and siting and the restricted size of the site would fail to make provision for adequate amenity space for future residents, which would be harmful to their residential amenities and be contrary to policy DES5 of the Reigate and Banstead Development Management Plan 2019.

Following the vote, Cllr S. Walsh requested it be noted that he had voted in favour of refusing planning permission for the application.

76. 19/02166/F - 34, HIGH STREET, HORLEY, RH6 7BB

The Committee considered an application at 34 High Street, Horley for the demolition of rear of existing building and erection of three storey rear extension for the provision of three 2-bed flats and one 1-bed flat.

RESOLVED that planning permission be **GRANTED** with conditions, as per the recommendation of the report.

77. 19/01989/S73 - FORMER ELGAR WORKS, NUTFIELD ROAD, MERSTHAM, SURREY

The Committee considered an application at Former Elgar Works, Nutfield Road, Merstham, Surrey for a variation of condition 1 of permission 17/01676F – Landscaping/parking layout, as amended, for the demolition of existing industrial and commercial buildings and erection of fourteen new dwellings (six 3-bed and eight 4-bed) together with access, parking and landscaping.

It was clarified that the reference to item 8 in the addendum referred to item 7.

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The Committee indicated that they were minded to support the requested variation.

It was clarified that the updated recommendation contained in the addendum should be that the Head of Planning, in consultation with the Chair of the Planning Committee and Ward Councillors, be authorised to **GRANT** planning permission, subject to conditions, following the expiry of the consultation period with Surrey County Council Highways and Neighbourhood Services on 27th of December and consideration of any further representations received.

RESOLVED that the Head of Planning, in consultation with the Chair of the Planning Committee and Ward Councillors, be authorised to **GRANT** planning permission, subject to conditions, following the expiry of the consultation period with Surrey County Council Highways and Neighbourhood Services on 27th of December and consideration of any further representations received.

78. ANY OTHER URGENT BUSINESS

There was no other urgent business to consider.


The Meeting closed at 8.36 pm

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 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	22 nd January 2020
	REPORT OF:	HEAD OF PLACES & PLANNING
	AUTHOR:	James Amos
	TELEPHONE:	01737 276188
	EMAIL:	james.amos@reigate-banstead.gov.uk
AGENDA ITEM:	5	WARD: <i>Lower Kingswood, Tadworth and Walton</i>

APPLICATION NUMBER:	19/01513/F	VALID:	20/08/2019
APPLICANT:	Walton Heath Golf Club	AGENT:	Quod Planning
LOCATION:	WALTON HEATH GOLF CLUB, DEANS LANE, WALTON ON THE HILL		
DESCRIPTION:	Erection of a new clubhouse to serve Walton Heath Golf Course comprising a main clubhouse building, ancillary staff accommodation, an 'Artisans' clubhouse, car parking, associated hard and soft landscaping, putting green and a new access road from Dorking Road. As amended on 07/10/2019 and on 06/11/2019 and on 19/11/2019.		
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This application is referred to Committee as the application has raised considerable levels of local interest.

SUMMARY

Planning permission is sought for the erection of a new golf clubhouse to serve Walton Heath Golf Club comprising a new main clubhouse with ancillary staff accommodation, an artisan's clubhouse, a new access onto Dorking Road leading to a car park for 171 vehicles, together with hard and soft landscaping including a new practice putting area.

The site is located in the Green Belt and Core Strategy Policy CS3 and DMP Policy NHE5, in line with the NPPF (2019), state the construction of new buildings will be regarded as inappropriate in the Green Belt unless they fall within one of the listed exceptions.

Core Strategy Policy CS3 states that planning permission will not be granted for inappropriate development in the Green Belt, unless very special circumstances exist which clearly outweigh the potential harm to the Green Belt.

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The applicants have put forward the argument that a new clubhouse should be considered as an appropriate facility for a golf course, irrespective of the existence or otherwise of an existing facility. They take the view that the test in Policy CS3 (Part 2) of the Reigate and Banstead Core Strategy (adopted July 2014) and paragraph 145(b) of the NPPF is whether the use itself is appropriate, not whether there are alternatives.

Given the presence of this existing facility, it is not considered that a new clubhouse within the Green Belt could properly be considered appropriate in the circumstances. The presence of an alternative site (i.e. the site of the existing clubhouse) in the urban area would be a significant material consideration in considering whether a new clubhouse in the Green Belt is appropriate.

Furthermore, and in order to be considered as not inappropriate, the new facilities should preserve the openness of the Green Belt and not conflict with the purposes of including land within it.

The proposal is for a large new clubhouse building together with the formation of a new access from Dorking Road and a large car park to accommodate 171 vehicles. It is considered that the proposals would have a significantly harmful impact on the openness of the site and would result in encroachment onto open green belt land and urban sprawl. The proposals would therefore also conflict with the purposes of including land within the Green Belt.

Therefore, in accordance with Policy CS3, planning permission should be refused unless it is demonstrated that very special circumstances exist, to the extent that other considerations clearly outweigh any potential harm to the Green Belt by reason of inappropriateness and any other harm.

With regards to design issues, it is considered that the building in itself, would be attractive and it has been demonstrated that the impact of the building on the landscape would be acceptable. However, the proposal would result in the removal of a section of the mature trees within the protected woodland and lead to fragmentation and the urbanisation of an established woodland environment. The applicant proposes the provision of replacement trees, compensatory measures and additional tree cover. However, it is not considered that this would adequately compensate for the existing woodland that would be lost.

The proposals include the formation of a new access from Dorking Road. Surrey Highways are satisfied with the design of the access and that the traffic generated by the proposed development would not have an adverse impact on the safety and free flow of traffic on the highway. They are also satisfied with the quantum of parking proposed which is the same as on the existing clubhouse site.

Other issues relating to the impact of the proposals on bio-diversity and sustainability are considered acceptable.

The applicants have put forward the case that the proposed development does not constitute inappropriate development and therefore very special circumstances do not have to be shown. However, they state that if the local planning authority considers

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that the development is inappropriate in the Green Belt, as is concluded above, then the applicant contends that very special circumstances do exist. The Council has reviewed the circumstances put forward but consider that, given the degree of harm that would be caused by the erection of the clubhouse, and the formation of the access road and car park, it is not considered that the benefits stated are of sufficient merit to outweigh the harm that would be caused.

In light of these comments, it is not considered that very special circumstances have been demonstrated to outweigh the harm that is caused by reason of inappropriateness and the other harm identified. Accordingly, it is recommended that planning permission be refused for the following reasons.

RECOMMENDATION

Planning permission is **REFUSED** for the following reasons:

1. The proposal constitutes inappropriate development in the Green Belt, resulting in harm to openness, due to the introduction of new buildings, car parking and an access and access road. No very special circumstances exist to clearly outweigh the harm by reason of inappropriateness and the other identified harm. As such, the proposal is contrary to Reigate and Banstead Core Strategy Policy CS3 and Reigate and Banstead Development Management Plan Policy NHE5 and the provisions of the NPPF (2019).
2. The collective loss of high and moderate trees to facilitate the clubhouse will not only have a detrimental impact on the appearance of the natural landscape but also lead to further habitat fragmentation of the woodland. The location of the parking areas will prevent replacement planting to compensate for loss of the woodland or enable the creation of a natural setting. This would result in further harm to the open rural character of the area contrary to Reigate and Banstead Development Management Plan Policies DES1 and NHE3.

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Consultations:

Highway Authority: No objection subject to condition. The County Highway Authority has assessed the application on safety, capacity and policy grounds and is satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway with respect of access, net additional traffic generation and parking. The County Highway Authority therefore has no highway requirements subject to conditions – see detailed commentary within the report.

Environmental Health (Contaminated Land): No concerns are raised.

Surrey CC Countryside Access – The application site is located north-east of Banstead Public Footpath no. 96. The length of the existing practice area is longer than the average drive, but they would be interested to know whether there is any intention to create a barrier to protect walkers. Also, have been advised that historically, equestrians have used the path known as the ‘gallops’. The proposal would affect this route. Whilst not currently recorded on the definitive map and statement as a public bridleway, the applicant should be aware that the proposal may be calling into question any potential acquired access rights, prompting an application for the path to be formally recorded on the DMs.

Environment Agency – No comments.

Reigate Ramblers – Object in principle to the relocation of the clubhouse onto open green belt land. Suggest that concerns about crossing the Dorking Road could be dealt with by other means, such as a controlled crossing. Furthermore, there would be no justification for any changes to footpaths in the area

Surrey CC Minerals and Waste – No comments.

Surrey Wildlife Trust – The Trust would advise that the Ecological Appraisal Report by LUC dated June 2019, which the applicant has provided in support of the above planning application, provides much useful information for the Local Authority to be able to assess the potential status of protected and important species on the proposed development site and the likely effect of the development on them.

We would however draw the attention of the Local Authority to section 3.42 Of the Report which states that if there has been a “significant time lapse” between the time of survey and the implementation of proposals, “updated ecological surveys may be required”.

As two survey seasons have passed, since the original surveys were undertaken we would advise the Local Authority to confirm with the applicant if their ecologist is of the opinion that the findings of these surveys are still relevant for this application or if further surveys are required to allow the Local Authority to consider the effect of the development on the site’s current biodiversity and any mitigation proposals which may now be required to prevent adverse effect.

If further updated surveys are required, we would be pleased to comment further when the results of this survey work are made available. If the answer to the above

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is that the surveys undertaken and the ecologist's recommendations are still relevant, we have the following comments.

Should the Local Authority be minded to grant this planning application for this Green Belt site, the applicant should be required to undertake all the recommended actions in section 5 of the Report for 'Site B' For habitat, 5.6-5.19, including the biodiversity enhancements detailed in sections 5.14-5.17 and 5.19-5.22, together with appropriate conservation management as listed in 5.18. For species, 5.23-5.67, including enhancements in 5.52-5.53, 5.58, 5.63 and 5.68-5.70.

With particular reference to 'Site B' for the need for the applicant to obtain a European Protected Species (EPS) licence from Natural England following the receipt of planning permission and prior to any tree works which may affect bats commencing and undertake all the actions which will be detailed in the Method Statement (as outlined) which must support an EPS licence application.

This will help prevent adverse effect to legally protected species resulting from the proposed development works and help to off-set adverse effects to the biodiversity value of the site resulting from the proposed development.

As the proposed development site is within an area of land selected by the Local Authority as a Site of Nature Conservation Importance (SNCI), namely Banstead and Walton Heath, which are protected from adverse effect arising from planning proposals under their Core Strategy Policy CS2, we would advise the Local Authority, should they be minded to grant this application, to take the opportunity to approve a Landscape and Ecological Management Plan (LEMP) for this site to require the applicant to demonstrate how the development will be delivered without adverse effect to the biodiversity value of the site.

The proposed development will result in the loss of some habitat including Priority Habitat (Lowland mixed deciduous woodland) (As listed in section 41 of the NERC Act 2006) and the applicant should prove that their proposed site enhancements will result in no net loss of biodiversity value and as now required by legislation and planning policy* a clear net gain in biodiversity value, which will complement and support the habitats and species for which the SNCI was selected.

The LEMP should include plans showing areas of habitat creation and enhancement with planting lists and seeding plans, details of other enhancements together with a conservation management regime, funded over a period of years, which should include a monitoring programme to enable any deficiencies to be remedied.

Surrey Hills AONB – The site lies within the Area of Great Landscape Value (AGLV) and is not visible from the Surrey Hills AONB some distance to the south. Nor would the development harm views towards the AONB. This part of the AGLV has not been recommended as an AONB candidate area in the Landscape Character Assessment carried out in connection with Natural England's forthcoming boundary review of the Surrey Hills AONB. Notwithstanding this I consider that the attractive landscape is worthy of protection in its own right.

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I support the proposed landscape mitigation measures set out in the LVIA. These include new native woodlands, understory planting, new heathland, scrub and wildlife meadows. Also, the previously proposed engineered landscape forms around the building have been removed in favour of the ground being naturally graded. From the east the clubhouse would be seen against a treed backdrop. But the indicative view on page 102 of the D&A Statement entitled "Closer view from south of - Golf Course" suggests that the clubhouse would look rather stark. To soften this visual impact and create more visual interest it is suggested a single specimen oak tree be planted in front a sufficient distance from the building to grow in decades time into an interesting landscape feature. Important more distant landscape views from the clubhouse could still be gained under the tree canopy and if it were located towards the southern corner of the building.

I conclude that if the clubhouse has to be on this side of the main road and in an undeveloped area, every reasonable effort has been taken to minimize the landscape impact of the proposed development with a discreet contemporary design meeting the functional requirements of the club.

Surrey CC Historic Landscape Officer (Archaeology) – Although the application area is over the 0.4ha area that is recommended for archaeological assessment, and possibly evaluation under Policy Pc8 of the Reigate and Banstead Local Plan, the actual development proposals are largely confined to the new clubhouse that will impact upon a much smaller area and so in this case, I have no archaeological concerns.

Crispin Blunt MP – Mr Blunt has associated himself with the comments of Tadworth and Walton Residents Association and welcomes their commentary. He asks that planning permission be refused as it would pose a substantial breach of national Green Belt policy in the nation's most important Green belt, and in one of the most sensitive areas of the Green belt on Walton Heath.

London Green Belt Council (LGBC) – The London Green Belt Council objects to this application because of impact on the Green Belt. They draw attention to the advice in the NPPF which states that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances, that local planning authorities should ensure that substantial weight is given to any harm to the Green Belt unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

They state that the proposal is inappropriate development because it does not preserve openness or meet all the purposes set out in paragraph 134. It also does not conform with policies in the Local Plan and Development Management Plan.

The LGBC has submitted a long and detailed letter of objection which makes the following summarised points:

- The development as a whole will be significant structure and other facilities, such as the car park and access which will clearly interrupt the openness of the countryside.

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- Spatially, the development will have a significant adverse impact on this part of the Green Belt.
- The proposal is for a permanent structure with no proposals to return the land to its original state.
- There will be a considerable increase in activity.
- The cases referred to by the applicant do not show how the development preserves openness.
- The clubhouse site and the associated access road and car park are outside the Walton on the Hill envelope and would be seen to be adding to urban sprawl because of the nature of the development.
- The development clearly forms a tongue of development into the open countryside and so fails to safeguard it.
- In addition to the adverse impact on the Green Belt there will be other forms of harm, particularly the adverse impact on the landscape/ AGLV, biodiversity, heritage, and the unsustainable location.
- The very special circumstances stated do not overcome the harm identified.
- For the reasons stated in this submission we urge the Reigate and Banstead Council to refuse this application.

Tadworth and Walton Residents Association objects strongly to this application, for several reasons. Their primary objection is that the proposal is inappropriate development in the Green Belt, because of impact on “openness” and the “purposes” of the Green Belt. They also consider that there is “other harm” in terms of impact on the AGLV, ecology, sustainability and heritage. It is therefore necessary for the Club to show that there are “very special circumstances” which outweigh this harm and, in their opinion,, it has failed to do this. They state that there are clearly other options which can overcome the deficiencies of the existing clubhouse and the crossing of the Dorking Road. There are also other concerns relating more specifically to the site layout including the parking and the impact on the practice ground.

The Tadworth and Walton Residents Association has submitted a long and detailed letter of objection which makes the following summarised points

- The proposal is inappropriate development because the proposal does not preserve openness or meet all the purposes set out in paragraph 134. It also does not conform with policy OSR 3.3 and 4 of the DMP. OSR3 4.
- It is clear that the new access onto the Dorking Road, the new road and parking along the road, will be visible from the Dorking Rd and also the public footpath at the end of the practice area. As the building will extend beyond the wooded area onto Beechams Field it will be a very dominant feature in the landscape until the new planting matures. The clubhouse will also be very visible across the golf course.
- It has to be remembered that the public have rights to walk all over the common and are not restricted to the rights of way. It will be a substantial building, about 55m long and about 8m high. Although mainly single storey, there is a high headroom at ground floor level.
- The footprint of the development is considerable. It will be very damaging to the openness of the area. The southern side of the Dorking Road between the A217 and the M25 and beyond is currently open, with very little development. Most of

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it is common land, apart from Beechams Field, the maintenance building and a couple of small historic groups of housing. There has been little new development since the designation of the Green Belt apart from the Club's maintenance building. Spatially, the development will have a significant adverse impact on this part of the Green Belt.

- The PPG refers to duration of a development and its remediability as one of the factors affecting openness. In this case, the proposal is for a permanent structure with no proposals to return the land to its original state.
- There will be a significant increase in activity, particularly from the increased traffic generation by club members using the 171 car parking spaces which, based on the existing car park usage, will sometimes be at capacity.
- The Dorking Road is a physical boundary between open countryside to the South, designated as AGLV and AONB, and the built-up area to the North. The clubhouse site and the associated access road and car park are outside the Walton on the Hill envelope and would add to urban sprawl because of the nature of the development.
- The development clearly forms a tongue of development into the open countryside and so fails to safeguard it.
- The proposal will have an adverse impact on the landscape which is designated as an Area of Great Landscape Value.
- The proposed buildings with associated car parking and access road will harm the natural beauty of the area.
- The development will be visually obtrusive as well as reducing the tranquillity of the area and destroying some local habitats. It certainly will not assist in the conservation and enhancement of the landscape as required in the Council's adopted plans.
- The impact on the AGLV amounts to "any other harm".
- despite the applicant's case that there will be net gain, we consider that the development will be harmful to the natural environment.
- Appreciate that efforts have been taken to avoid the remaining trees but there will still be significant losses. As the ecologist points out, the woodland, mature trees, scrub and the establishment of heath land habitats contribute to the biodiversity and the overall value of the SNCI.
- The ecology consultant also points out that there will be harm in the short and medium term but in the long term there will be a net gain. However, much of the proposed enhancement could be done now at little cost and without the new clubhouse. Introducing a heath land environment on the north side of the Dorking Road, although to be welcomed, may not be appropriate for the change to community use. We note that the woodland which was to compensate for the land taken for the reservoir and the wildflower flower meadow for the common land exchange have yet to develop, with areas of woodland still fenced off even though common land is meant to be open.
- The existing clubhouse is of considerable local if not national importance because of the early history of the golf club and should be considered for local listing.
- Policy CS4 states that development should be designed to respect, conserve and enhance the historic environment and this is amplified in NHE9 1. And 5. The application does none of these. The heritage of the common, which has

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- been protected for many generations, is important and should be protected. A new club house will damage the historic landscape.
- in our opinion the poor layout and condition of the existing clubhouse cannot be taken as amounting to the ‘very special circumstances’ required to overcome the harm to the Green Belt.
 - Policy INF2 of the DMP, on community facilities, is relevant, stating in a) that new community facilities will be encouraged where there is an identified local need which cannot be met from the use of the existing stock of community facilities. (There is also the issue that this is a private not community facility).
 - In our opinion, very little planning weight can be attached to the argument that the sustainability of the Club depends on the new clubhouse.
 - The Club argues that a relocated clubhouse is necessary to attract major championships and retain its rankings. However, a successful British Masters tournament was held recently despite the location of the clubhouse. Walton Heath is one of the few club’s to have attracted a championship of this importance.
 - The existing Artisans’ clubhouse could be refurbished and is in a far more sustainable location.
 - Traffic accident levels are too low for the local highway authority to take action, there are options for the Club to investigate involving either surface or tunnel arrangements to improve safety. This has not been done. In our opinion, the highway crossing issue cannot be used as an argument to justify ‘very special circumstances’.
 - In our opinion, the case, made by the Club for the benefits arising from relocation, are insubstantial and together do not outweigh the overall harm.
 - The scheme proposals 11.0 shows that the revised practice area is considerably reduced in width with the clubhouse not only occupying the woodland but extending into the open area of Beechams Field. The practice tees are moved closer to the Dorking Road which could also be dangerous.
 - Also that the new access road and parking reduces the length of the practice area and objections to the application from golfers indicates this could also be dangerous, particularly as driving distances are increasing and there is a public footpath close to the boundary.
 - Concerned that if the Club is successful in attracting new members and visiting golf societies, there will be pressures to extend the car park.
 - Concerned that there could be future pressures to expand the clubhouse as requirements change over time.

The Residents Association objects to the application in terms of harm to the Green Belt, on grounds of openness and purpose, and “any other harm” (cf The Redhill Aerodrome inquiry) based on the impact on the landscape, heritage, ecology and sustainability. The proposal conflicts with many of the NPPF, Core Strategy and DMP policies.

In the opinion of the Residents Association, the benefits listed by the applicants do not, either individually or cumulatively, amount to the very special circumstances needed to outweigh the harm. A further concern is that although each application has to be determined on its merits, it could create a precedent for future expansion.

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They therefore request that the application is refused. If the application should be approved, they request a section 106 agreement or conditions be imposed to require the Club to fully implement and maintain the community benefits, to be monitored by the Council, plus a requirement that should the Club fail all buildings and hard surfaces be removed and the land be restored to its existing condition.

Tadworth and Walton Residents Association have submitted a second detailed letter in response to the additional information submitted in support of the proposals by the applicants. They reiterate many of their previous concerns and fundamentally disagree with the reasoning put forward by the club and their planning advisers with regards to the appropriateness of otherwise of the proposed development within the Green Belt, with regards to the preservation of openness, on the spatial impact of the proposals, the degree of activity and with regards to the very special circumstances put forward. They also consider the reduced size of the practice area to be a potential hazard.

Lower Kingswood Residents Association – Object to the proposals. Consider the proposed development to be inappropriate development in the Green Belt which would impact adversely on openness. There would be other harm caused to ecology, sustainability, heritage and the area of great landscape value. They consider that the club has not demonstrated very special circumstances which will outweigh the harm.

Representations:

Letters were sent to neighbouring properties on 3rd September 2019, a site notice was posted 11th September 2019 and advertised in local press on 12th September 2019.

77 objections have been received raising the following issues:

Issue	Response
Harm to Green Belt/countryside	See paragraphs 6.3 – 6.23
Hazard to highway safety	See paragraphs 6.32 – 6.36
Increase in traffic and congestion	See paragraphs 6.32 – 6.36
No need for the development	See paragraphs 6.44 – 6.54
Out of character with surrounding area	See paragraphs 6.24 – 6.31
Harm to wildlife habitat	See paragraphs 6.41 – 6.43
Inadequate car parking	See paragraphs 6.32 – 6.36
Inconvenience during construction	See paragraphs 6.55
Poor design	See paragraphs 6.24 – 6.31
Noise and disturbance	See paragraph 6.55
Overdevelopment	See paragraphs 6.24 – 6.31

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Out of character with surrounding area	See paragraphs 6.24 – 6.31
Loss of / harm to trees	See paragraphs 6.37 – 3.36
Increase I traffic congestion	See paragraphs 6.32 – 6.36
Drainage / sewage capacity	See paragraph 6.44
Crime fears	See paragraph 6.56
Harm to Conservation Area	The site is not in a conservation area
Covenant conflict	This is not a planning matter
Loss of buildings	Not relevant to this application

A total of 154 comments in support of the proposals have been received. The main issues raised are summarised as follows:

- Benefit to housing need
- Community/regeneration benefit
- Economic growth / jobs
- Visual amenity benefits
- Health fears (road crossing)

1.0 Site and Character Appraisal

- 1.1 The application site for the proposed new clubhouse is located on the eastern side of Dorking Road. It is situated between the main golf course and the recently completed practice facility and to the south of the current greenkeepers complex. The site is presently undeveloped and comprises an area of open land amongst woodland, which forms part of a woodland preservation order (TPO RE507A). The site is currently access by an informal access track from Dorking Road via the greenkeepers complex.
- 1.2 The site is wholly within the Metropolitan Green Belt, is designated as an Area of Great Landscape Value and is within an area identified as a Site of Nature Conservation Importance. The main golf course itself retains an open character despite its recreational use and the surrounding area characterised by heathland and woodland. The edge of the built-up area of Walton on the Hill is presently clearly defined by the dense belt of woodland which flanks Dorking Road.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: The applicant entered into pre-application discussions with the Council on two occasions. On the first occasion (PAM/17/00345), the applicants were advised that the Council considered that a new clubhouse on the application site would be considered as an inappropriate form of development within the Green Belt, and therefore very special circumstances would need to be demonstrated to outweigh the

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harm that would be caused. On this issue, the Council advised that a convincing 'very special circumstances' case had not yet been demonstrated.

- 2.2 The applicants were also advised that the traditional design approach chosen was not appropriate for this location and that the Club should be encouraged to explore a more contemporary design approach. Careful consideration would also need to be given to the landscaping of the site, replacement tree planting and screening. Advice was also given in relation to ecological matters, given the location of the site within an SNCI, and on highways matters.
- 2.3 On the second occasion (PAM/18/00498), a revised design and further evidence in support of the was submitted for the proposed clubhouse was submitted. Following a meeting, the applicants were advised that the Council maintained the view that the proposals constituted inappropriate development within the Green belt and that very special circumstances did not exist which would outweigh the harm caused.
- 2.4 The applicants were advised that the revised design of the proposal, which was of a contemporary design, were a marked improvement on the previous submission in terms of the overall design approach and ethos which responded to previous concerns. It was also noted that the siting of the building had been reviewed with a view to minimising the prominence of the building and maximising retention of tree cover.
- 2.5 Improvements have been sought during consideration of the application to the new access from Dorking Road, and further information in relation to concerns raised from the planning application consultation exercise.

3.0 Relevant Planning and Enforcement History

- | | | | |
|-----|--------------|--|-----------------------|
| 3.1 | 12/00181/F | Change of use from non-agricultural land to golf practice facility together with the associated works including erection of secure storage hut, provision of all-weather turf and erection of ball stray netting (outdoor sport and recreation). | Granted
25/05/2012 |
| 3.2 | 09/01593/TPO | Within a woodland remove 20 Birch trees, 30 Sycamores and 120 saplings to enable restoration of Pintmere Pond. | Granted
14/12/2009 |
| 3.3 | 01/01452/F | Proposed single storey pavilion to replace previous pavilion destroyed by fire. | Granted
30/10/2001 |

4.0 Proposal and Design Approach

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- 4.1 Full planning permission is sought for the erection of a detached part one and part two storey building to be used as a golf clubhouse, a detached single storey building for the Artisan’s golf clubhouse, the formation of a new access from Dorking Road with a new access road leading to a car park containing 171 spaces, together with hard and soft landscaping and a new practice putting green.
- 4.2 The proposed clubhouse would be principally single storey in height with a smaller first floor level of 347 sqm in area. The clubhouse would contain changing rooms, lockers, social/bar and dining facilities, and a pro-shop at the ground floor level with meeting rooms located at the upper ground floor. Residential accommodation for the house manager and staff would be located at first floor level. This accommodation would be intended solely for staff use who need to be on site for operational, supervisory and security reasons. The total area of the new clubhouse and Artisans clubhouse would be 2,900 sqm in area, which is stated as being of a similar size to the existing clubhouse in Walton on the Heath. The Artisans clubhouse will comprise a single storey building, located to the north of the site where the new access road will turn down into the proposed clubhouse. This is proposed to be similar in size to the existing Artisans Clubhouse.
- 4.3 A new access would be formed off Dorking Road leading to an extensive car parking area which would be situated between the proposed clubhouse and adjacent woodland and also along the access road. It would be accompanied by substantial hard and soft landscaping.
- 4.4 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.5 Evidence of the applicant’s design approach is set out below:

Assessment	The character of the surrounding area is assessed as open land. The site lies within a Site of Nature Conservation Importance, designated for its large mosaic of oak-birch woodland, acid grassland, remnant heathland, scrub and several ponds. It also lies within the Green Belt which seeks to prevent urban sprawl and within an Area of Great Landscape Value which seeks to protect the distinctive landscape character of the area.
	Site features meriting retention are listed as woodland.
Involvement	Community views were sought by the applicants at a community meeting and exhibition held at the golf club in

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	October 2018.
Evaluation	No other development options for a new clubhouse have been considered by the club.
Design	The applicant's reasons for choosing the proposal from the available options were guided by advice from the Council and other consultees. A number of locations on the eastern side of Dorking Road were investigated with the final position chosen due to visual protection from a line of trees.

4.6 Further details of the development are as follows:

Site area	Golf course extends to 97 ha. Site for new clubhouse, access and car parking area extends to approximately 1ha.
Existing use	Open land forming part of the existing golf course
Existing parking spaces	None
Proposed parking spaces	171 in total

5.0 Policy Context

5.1 Designation

Metropolitan Green Belt
Woodland Tree Preservation Order (RE507A -W1)
Site of Nature Conservation Interest
Area of Great Landscape Value

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS2 (Valued Landscapes and Natural Environment),
CS3 (Green Belt)
CS4 (Valued Townscapes and Historic Environment)
CS5 (Valued People/Economic Development),
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS12 (Infrastructure Delivery),
CS17 (Travel Options and accessibility)

5.3 Reigate & Banstead Development Management Plan 2019

DES1 (Design of New Development)
OSR3 (Outdoor Sport and Recreation)
TAP1 (Access, parking and servicing)

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- NHE1 (Landscape Protection)
- NHE2 (Protecting and enhancing biodiversity and areas of geological importance)
- NHE3 (Protecting trees, woodland areas and natural habitats)
- NHE5 Development within the Green Belt)
- INF2 (Community Facilities)

5.4 Other Material Considerations

National Planning Policy Framework

National Planning Practice Guidance

Supplementary Planning Guidance

Local Distinctiveness Design Guide
Vehicle and Cycle Parking
Guidance 2018

Other

Human Rights Act 1998
Community Infrastructure Levy
Regulations 2010

6.0 **Assessment**

6.1 The site is located within the Metropolitan Green Belt. National and Local Policy requires that in order to preserve the openness of the Green Belt, planning permission should not be granted for development that is inappropriate unless justified by very special circumstances.

6.2 The main issues to consider are:

- The principle of new buildings in the Green Belt
- Design appraisal
- Highways
- Trees
- Energy and Sustainability
- Impact on bio-diversity
- Very Special Circumstances

The principle of new buildings in the Green Belt

6.3 The site is located in the Green Belt and Core Strategy Policy CS3 and DMP Policy NHE5, in line with the NPPF (2019), state the construction of new buildings will be regarded as inappropriate in the Green Belt unless they fall within one of the listed exceptions.

6.4 Para.143 of the NPPF states that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. Para.145 sets out a number of exceptions to this, including as section B: the provision of appropriate facilities (in connection with the existing use of land or a change of use) for outdoor sport, outdoor recreation, cemeteries and burial grounds and allotments; as long as the facilities

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preserve the openness of the Green Belt and do not conflict with the purposes of including land within it.

- 6.5 Core Strategy Policy CS3 states that planning permission will not be granted for inappropriate development in the Green Belt, unless very special circumstances exist which clearly outweigh the potential harm to the Green Belt.
- 6.6 The applicants have put forward the argument that a new clubhouse should be considered as an appropriate facility for a golf course, irrespective of the existence or otherwise of an existing facility. They take the view that the test in Policy CS3 (Part 2) of the Reigate and Banstead Core Strategy (adopted July 2014) and paragraph 145(b) of the NPPF is whether the use itself is appropriate, not whether there are alternatives. In support of this position, a number of other cases are quoted.
- 6.7 However, in all of those cases, the proposals related to a facility which was not already available for example, in the Hertford Golf Course appeal, the Inspector is quoted as stating that the erection of a golf clubhouse, pro-shop facilities and upgraded golf practice facilities can be considered not inappropriate in the Green Belt. However, this was for the creation of a new club and golf course including the change of use of agricultural land. In the case of Cherkley Court, the proposal was for the change of use and extension of an existing building and the formation of a new golf course. The Mole Valley appeal established that a clubhouse 'was considered to be acceptable because it provided essential facilities ancillary to the golf course. In this application, that clubhouse already exists, and therefore, it is implied that a new replacement clubhouse in the Green Belt, as an alternative facility to the existing clubhouse in the village would not necessarily be considered essential in the same way. The Edgewarebury case is also similar in that the development proposed is the creation of an 18-hole golf course with ancillary clubhouse, associated car parking and landscaping. In this case, the Inspector states that a "clubhouse would be regarded as intrinsic and as such its purpose would be core to the experience of participating in this outdoor sport". Given that a clubhouse already exists for Walton Heath golf club, it is not considered that this case, and the others quoted, provide any support for the proposal in this case.
- 6.8 Given the presence of this existing facility, it is not considered that a new clubhouse within the Green Belt could properly be considered appropriate in the circumstances. The presence of an alternative site (i.e. the site of the existing clubhouse) in the urban area would be a significant material consideration in considering whether a new clubhouse in the Green Belt is appropriate.
- 6.9 The second part of the test in NPPF para. 145 (b) states that the proposals can only be considered as appropriate, notwithstanding the comments above, as long as the facilities preserve the openness of the Green Belt and do not conflict with the purposes of including land within it.

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- 6.10 The National Planning Practice Guidance published advice on the assessment of openness in the Green Belt in July 2019. It states that *“assessing the impact of a proposal on the openness of the Green Belt, where it is relevant to do so, requires a judgment based on the circumstances of the case. By way of example, the courts have identified a number of matters which may need to be taken into account in making this assessment. These include, but are not limited to:*
- openness is capable of having both spatial and visual aspects – in other words, the visual impact of the proposal may be relevant, as could its volume;*
 - the duration of the development, and its remediability – taking into account any provisions to return land to its original state or to an equivalent (or improved) state of openness; and*
 - the degree of activity likely to be generated, such as traffic generation.”*
- 6.11 Each of these issues is discussed in turn below.

Visual Impact

- 6.12 The proposed clubhouse would be a large building, of two storeys in part and would be erected in a location which is currently free from built form. The site proposed for the clubhouse is open grassland located between the existing practice ground and the golf course itself. There is a line of trees along the western side of the clubhouse site, some of which would be removed to facilitate the new building.
- 6.13 At its highest point the building would be approximately 6.5m in height to the flat roof above the two storey element. The flat roof over the single storey element would be some 4.9m in height. The building would be broadly L-shaped and would be approximately 59m in length along the south-western elevation and approximately 59m along the south-eastern elevation. It would have a gross floor area of 2,628 sqm over two floors with the upper storey containing 347sqm. The proposed new clubhouse would be some 300sqm larger than the existing clubhouse in the village. In addition, a small separate Artisans clubhouse is proposed to be located to the north of the site, which will comprise a single storey building of 150sqm floor area, slightly larger than the existing Artisans Club house on the existing site in the village.
- 6.14 The proposals also include a new access from Dorking Road to the east which would lead to a total of 171 car parking spaces. The car parking would be located to the north and west of the clubhouse and to the north of the existing practice ground.
- 6.15 It is considered that the proposed new access from Dorking Road and the new road and car parking area would have a significant impact on the visual amenity of the site and surrounding area. The road and car parking would occupy a significant area of land which is currently open and visible from Dorking Road and nearby footpaths.

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- 6.16 The proposed clubhouse itself, although set back from the highway, and in part behind a tree belt, would nevertheless be visible from the road, the new access and car parking and from the surrounding golf course. The building would be a large and significant structure in a currently open landscape which will have a significant impact on the open aspect of the suite. It is acknowledged that the design and proposed materials will help the building meld into its background but, nevertheless it would remain highly visible from surrounding land.

Spatial Impact

- 6.17 The overall increase in built form, consisting of the access, access road, car park, and the two clubhouse buildings would occupy a significant area of open land and would be damaging to the openness of the Green Belt. The area is currently open, and free of built form apart from the maintenance building within the woodland to the north, and a small pavilion on the adjoining open playing field to the north-west.

Duration of Development

- 6.18 The PPG refers to the duration of the development, and its remediability – taking into account any provisions to return land to its original state or to an equivalent (or improved) state of openness. In this case, the proposed clubhouse buildings, the car park, and access road are permanent structures which will remain on the site, with no plans to return the land to its open state in the foreseeable future.

Degree of activity likely to be generated

- 6.19 The activity generated by the new clubhouses is foreseen by the applicants to be similar to the degree of activity that is currently generated by the existing clubhouse facility within the village. The existing clubhouse is a longstanding feature of the village and the existing road network accommodates the traffic generated by the club in the built-up area. In contrast, this same level of activity would be transferred to the currently open green belt to the east of Dorking Road, leading to significant harm to the openness of the Green Belt.

Purposes of including land within the Green Belt

- 6.20 There are 5 purposes listed in paragraph 134 of the NPPF. Of the 5 listed, it is considered that two are relevant, namely a) and c). Purpose (a) states that land is included within the Green Belt to check the unrestricted sprawl of large built-up areas. The village of Walton on the Hill is not, in itself, a large built-up area, but it forms part of a larger suburban area including Tadworth, Kingswood, Nork, Tattenham Corner and Banstead to the north and east. Dorking Road forms a strong and defined physical boundary between open countryside to the South, designated as AGLV and AONB, and the built-up area to the North. The clubhouse site and the associated access road and car park are outside the Walton on the Hill envelope and would add to urban sprawl beyond the currently built up area, and despite the possibility of landscaping and screening would

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nevertheless represent an incursion of built form and sprawl from the access road, car park and buildings into currently open Green Belt land.

- 6.21 Purpose (c) states that land is included within the Green Belt to assist in safeguarding the countryside from encroachment. The development clearly forms an incursion of development onto open land and in itself, represents encroachment of built form onto countryside. The extent of the access road, car park and clubhouses is substantial and represents a significant encroachment, conflicting with the purposes of including land within the Green Belt.
- 6.22 The proposals would not, therefore, qualify as an exception under the terms of NPPF paragraph 145 (b) and would comprise inappropriate development within the green belt. Therefore, in accordance with Policy CS3, planning permission should be refused unless it is demonstrated that very special circumstances exist, to the extent that other considerations clearly outweigh any potential harm to the Green Belt by reason of inappropriateness and any other harm.
- 6.23 The application will therefore be assessed against the other planning considerations before an assessment of whether 'very special circumstances' which outweigh the harm by reason of inappropriateness exist.

Design appraisal

- 6.24 DMP Policy DES1 relates to the design of new development and states that new development will be expected to be of a high quality design that makes a positive contribution to the character and appearance of its surroundings. The policy lists a number of criteria that would need to be met if a proposal is to be found acceptable. For example, development should promote and reinforce local distinctiveness and respect the character of the surrounding area, including positive physical characteristics of local neighbourhoods and the visual appearance of the immediate street scene and make use of high quality materials, landscaping and building detailing. Development should also incorporate appropriate landscaping to mitigate the impact, and complement the design, of new development, as well as protect and enhance natural features.
- 6.25 In itself, the proposed clubhouse buildings would be well designed, attractive contemporary buildings which would fulfil the needs of the golf club. The primarily single storey design with a limited two storey element on the main clubhouse, would be set down in its landscaped setting and would incorporate a limited palette of sensitive materials which respond to its setting in the landscape. The proposed Artisans clubhouse would be set in an area of woodland and would be well-screened but with glimpsed views from the proposed car park and surrounding golf course.
- 6.26 In support of the proposals, the applicants have submitted a Landscape and Visual Assessment which provides a visual appraisal of the proposed development and seeks to show the extent of any effects that will arise from the development.

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- 6.27 The Appraisal goes on to state that the change in existing landscape character will be limited to the application site only with the opportunity to enhance the local landscape character with new ecologically rich areas which respond to the existing landscape character of the local area. It is stated that these will also assist in integrating the proposals within the receiving landscape. The visual assessment has established that there are middle distant views from Public Foot Path 1 which runs southwards from Dorking Road close to the edge of the existing practice area and that filtered views are possible from Bridleway 2 and long distance and filtered views are possible from Bridleways 3 and 4. The appraisal goes on to state that the quality of views from the Public Footpath would have a slight adverse from the proposals. All other views from Public Rights of Way would not be affected.
- 6.28 It is concluded that the magnitude of change and the limited effects of the proposed development are compatible with the character and visual amenities of the local area. The new club house, access road and areas of parking would not be highly visible from points of public access and would not be detrimental to the character of the receiving landscape.
- 6.29 The impact of the proposals on the landscape has been considered in detail by the Surrey Hills AONB planning adviser. It is noted that the site lies within the Area of Great Landscape Value (AGLV) and is not visible from the Surrey Hills AONB some distance to the south. It is also considered that the development would not harm views towards the AONB. This part of the AGLV has not been recommended as an AONB candidate area in the Landscape Character Assessment carried out in connection with Natural England's forthcoming boundary review of the Surrey Hills AONB. Notwithstanding this the AONB adviser considers that the attractive landscape is worthy of protection in its own right.
- 6.30 The AONB adviser goes on to state that he supports the proposed landscape mitigation measures set out in the LVIA which includes new native woodlands, understory planting, new heathland, scrub and wildlife meadows. Also, the previously proposed engineered landscape forms around the building have been removed in favour of the ground being naturally graded. From the east the clubhouse would be seen against a treed backdrop. But the indicative view on page 102 of the D&A Statement entitled "Closer view from south of - Golf Course" suggests that the clubhouse would look rather stark. To soften this visual impact and create more visual interest, it is suggested by the AONB adviser that a single specimen oak tree be planted in front a sufficient distance from the building to grow in decades time into an interesting landscape feature. Important more distant landscape views from the clubhouse could still be gained under the tree canopy and if it were located towards the southern corner of the building. He concludes that if the clubhouse has to be on this side of the main road and in an undeveloped area, every reasonable effort has been taken to minimize the landscape impact of the proposed development with a discreet contemporary design meeting the functional requirements of the club.

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- 6.31 In the light of these comments, it is not considered that the proposed development would conflict with the provisions of DMP Policy DES 1.

Highways Matters

- 6.32 The proposed development includes the provision of a new access from Dorking Road, leading to a car parking area to the north and north-east of the proposed clubhouse. The proposals have been reviewed by Surrey Highways and following the submission of revised plans which have addressed their concerns relating to the geometry of the access and visibility from the new access onto Dorking Road, no objections area raised.
- 6.33 The application includes the provision of a new car park which would contain 171 spaces. This is stated as being similar to the number of spaces available at the existing clubhouse. The Council's adopted Parking Standards state that on golf courses, 3 car parking spaces per hole should be provided. Walton Heath Golf Club has two 18 hole golf courses. To accord with the standards, this would require a total of 108 spaces, plus an additional 5% for disabled users.
- 6.34 Surrey Highways have reviewed the proposals and has no in principle objections to the proposed relocation of the golf clubhouse. They state that the new facilities are the same as existing facilities and do not considered that there would be an increase in visitor attraction. IN addition, they state that the proposed development would remove the need for members of the golf club to cross the highway as all facilities would be on the south-eastern side of the Dorking Road.
- 6.35 The proposed parking provision of 171 spaces is a comparable re-provision of the existing parking that is available at the existing clubhouse. Whilst this exceeds car parking levels set out within the Parking Standards, it would not create any additional traffic pressure given it is a replacement of the existing clubhouse. It is not considered therefore that there would be any conflict with DMP Policy TAP1.
- 6.36 Comments have ben received from the Surrey CC Public Rights of Way officer who query whether there is any intention to create a barrier to protect walkers from the public footpath at the western end of the practice ground. In response, the applicants state that the design of the practice ground has been informed by advice from established and well respected technical consultants who have significant experience in the design, layout, operation and ongoing safety management of golf courses and practice areas. The practice area will be screened by existing and new landscaping and trees. They state that during major tournaments, the public footpath at the end of the practice area will be closed as it is traditionally at such times. Therefore, the size and location of the practice area is considered sensible and appropriate for the new clubhouse and represents a low risk for pedestrians and vehicles.

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Trees

- 6.37 The Council's Tree Officer has reviewed the proposals and raises concerns with regards to the removal of mature trees from the site. The location of the clubhouse will result in the removal of a section of the mature trees within the protected woodland (RE507A -W1) and lead to fragmentation and the urbanisation of an established woodland environment. Removing mature trees prematurely will also deny valuable features such as standing deadwood, decaying leaf litter which are an alternative food source for invertebrates. Whilst the site masterplan shows replacement trees the species are unlikely to be forest type species because the clubhouse car parking will influence the species to prevent problems such as leaf litter/ fruit/ aphid/ disruption to hardstanding. Moreover, the replacement planting will take years to mature and contribute to the canopy cover. The loss of medium and high-quality trees is contrary to policy NHE3 Reigate and Banstead Development Management Plan 2019 which identifies the importance of protecting trees, woodland areas and natural habitats.
- 6.38 In response to these comments, the applicants state that given the nature of the site and its landscape character, it is proposed to provide forest type tree species. Replacement planting can also provide for both substantial, feature trees in combination with understorey landscape species which are specifically designed to provide a variety of canopy levels at the time of planting. The pace at which reforestation can take place is also able to be influenced by landscape design, and it is typical for these designs to be submitted to and approved by the local planning authority. In relation to Policy NHE3 of the Reigate and Banstead Development Management Plan (which was recently adopted in September 2019 after the application was submitted), parts 4 and 5 allow the removal of relevant trees and woodlands in certain circumstances. The applicant proposes the provision of replacement trees, compensatory measures and additional tree cover to ensure that there is an overall net gain in terms of landscape provision.
- 6.39 The Council's tree officer has further commented that the Tree Preservation Order has been served to protect high value arboricultural features that contribute to the character of the local area. The collective loss of high and moderate trees to facilitate the clubhouse will not only have a detrimental impact on the appearance of the natural landscape but also lead to further habitat fragmentation of the woodland. Where trees are removed from a woodland setting it would not be unreasonable to expect replacement planting that will compensate for loss of the woodland by creating a natural setting. The location of the parking areas will prevent this from happening and lead to the urbanisation of the greenbelt. Therefore, I cannot support this application and recommend it should be refused.

Energy and Sustainability

- 6.40 An Energy Statement is submitted in support of the application. The Statement has provided an assessment of a number of potential technologies which would may be viable to provide a 10% reduction in carbon emissions from the proposed development. It is concluded that a variety of options will be taken to

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obtain the required 10% reduction in carbon dioxide emissions, including combined heat and power (CHP), photovoltaics, water and air source heat pumps for heating and cooling and natural and hybrid ventilation systems. It is considered that in this regard, the proposals accord with Core Strategy Policy CS11 and with DMP Policy CCF1.

Impact on biodiversity

- 6.41 The application is supported by an Ecological Appraisal. The Appraisal notes that the site is composed of poor semi-improved grassland, areas of seminatural mixed woodland, bare ground, ephemeral vegetation and disturbed land. The Appraisal considers that the areas of woodland are of ecological importance, whilst the majority of the other areas presented a low ecological value. The initial Appraisal has been extended to assess the proposed development and seeks to ensure this would not materially harm the nature conservation value of the area. Furthermore, the proposals include the provision of additional landscaping which mitigates impacts and contributes to enhancing the biodiversity within and surrounding the site.
- 6.42 Surrey Wildlife Trust have been consulted on the proposals and advise the Local Authority that should they be minded to grant permission on this application, to take the opportunity to approve a Landscape and Ecological Management Plan (LEMP) for this site to require the applicant to demonstrate how the development will be delivered without adverse effect to the biodiversity value of the site.
- 6.43 They note that the proposed development will result in the loss of some habitat including Priority Habitat (Lowland mixed deciduous woodland) (As listed in section 41 of the NERC Act 2006) and the applicant should prove that their proposed site enhancements will result in no net loss of biodiversity value and as now required by legislation and planning policy, a clear net gain in biodiversity value, which will complement and support the habitats and species for which the SNCI was selected. They state that the LEMP should include plans showing areas of habitat creation and enhancement with planting lists and seeding plans, details of other enhancements together with a conservation management regime, funded over a period of years, which should include a monitoring programme to enable any deficiencies to be remedied. In the event that planning permission was to be recommended in this application, it is considered that a condition could be imposed to cover this issue.

Very Special Circumstances

- 6.44 The National Planning Policy Framework advises that inappropriate development is, by definition, harmful to the Green Belt. Very special circumstances to justify inappropriate development will not exist unless the harm by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations. In this case, the applicants consider that the development proposed does not constitute inappropriate development and therefore very special circumstances do not have to be shown. However, they state that if the local planning authority considers that the development is inappropriate in the Green Belt, as is concluded above, then the applicant contends that very special

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22nd January 2020

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circumstances do exist. The following reasons are put forward in support of the proposed development.

- 6.45 The applicants contend that together Application 1 (for the new clubhouse) and Application 2 (for residential development on the site of the existing clubhouse in Walton on the Hill) will enable the clubhouse to be located directly adjacent to the golf courses that it serves and, in doing so, overcome a major constraint on its current operation. Uniquely for a Club of its reputation and standing, the existing clubhouse is located away from the courses it serves. They state that this causes significant practical and operational difficulties. Golfers must walk some distance to start and end their games of golf or to practice and the management of supervision of the club is separate from the course. These problems are exacerbated by the severance caused by the Dorking Road, which, as the Club's statement explains, causes perceived and actual safety issues.
- 6.46 The applicants state that providing a new clubhouse is an important part of its strategy for sustaining its long-term future. They state that as noted in the Club's statement, over the last 10-15 years there has been a significant down turn in the popularity of golf resulting in the closure of some courses and increased competition at the remaining ones. They state that to remain competitive and relevant to a younger generation, the Club needs to make a step change in the quality and usability of its clubhouse and courses. This means that it needs to remove its principal disadvantage compared to its competitors (the clubhouse being distant from the course) and also provide modern well configured accommodation with improved facilities for visiting golfers, so it can compete with other golf clubs, some of whom have already improved their offer.
- 6.47 They state that it is not possible for the Club to redevelop on this existing site whilst remaining in viable operation. The Design and Access Statement explains that the existing building is poorly configured and because of its age and condition is entirely unsuitable for conversion to modern standards. Whilst it may be physically possible to rebuild the clubhouse in the adjacent car parking area, this would mean that the clubhouse remains in the wrong location further away from the courses that it serves and closer to neighbouring residential properties. It would also mean that the Club would need costly temporary accommodation and would be without car parking provision during the rebuild and subject to unacceptable levels of disruption.
- 6.48 They state that the redevelopment of the existing clubhouse site also has an important role as enabling development for the clubhouse. As explained in the Club's Statement, the sale of the existing clubhouse is required in order to fund the construction of a replacement clubhouse next to the existing courses, taking into account the Clubs existing financial position and ability to secure funding through other means.
- 6.49 They also state that the relocation of the Clubhouse enables various local community benefits to be delivered. Not only will the relocation of the Club away from the village remove traffic and disturbance and therefore improve its tranquillity, it also means that, amongst other community benefits, the reconfiguration of the course will allow the existing first hole of the Old Course to

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be made available for greater use by the community with more heather regeneration planned. In doing so, they state that this will help to preserve the openness of the Green Belt and enhance its recreational function.

- 6.50 In considering whether the very special circumstances stated are sufficient to outweigh the harm that is caused by reason of inappropriateness and any other harm, the Council has to assess the degree of harm that is caused by the proposals. It is considered that the harm caused to the openness of the Green Belt by the proposed clubhouse, car park and access road would be significant by virtue of the size and scale of the main clubhouse building, and by the size and extent of the areas of hardstanding required for the access road and a car park of 171 spaces. Any very special circumstances stated would therefore need to be of sufficient weight to outweigh the harm that is caused by reason of inappropriateness and any other harm
- 6.51 Taking each of the reasons stated in turn, it would clearly be desirable for the club to relocate the clubhouse to a position immediately adjacent to the majority of the golf course and enable members to take advantage of a closer relationship with the facilities. However, the benefit would generally accrue only to the members of the club and to the visitors and it is not considered that this would be of sufficient benefit to qualify as a very special circumstance. Without the new clubhouse, the operation of the golf club would continue on a day to day basis. The club are not saying that the overall long term existence is under threat unless the clubhouse is relocated, merely that it their preferred option for the future in order to be able to compete with similar facilities in the area.
- 6.52 The club state that there are practical difficulties with the severance of the clubhouse from the bulk of the course, and that golfers need to walk some distance in order to start their rounds. They also state that the need to cross Dorking Road is a safety issue for golfers. However, no evidence has been provided to demonstrate that there have been any injuries to golfers crossing Dorking Road, or that the distance to the first tee inhibits their enjoyment of the course.
- 6.53 It is stated that it would not be possible to effectively redevelop the existing clubhouse site with a new clubhouse for various reasons, including the need to sell the existing clubhouse to partly enable the new facility and to remain as a viable operation. Given that the erection of a new clubhouse within the Green Belt is considered as an inappropriate form of development, it is not considered that the need for enabling development or the difficulties in developing on the current site represent very special circumstances to allow a development which, in the Council's view, causes significant harm.
- 6.54 The applicants state that the relocation of the clubhouse will enable various local community benefits to be delivered. In addition to the removal of traffic from the environs of the village, the applicants state that part of the first hole would be made available for community use. Given the degree of harm that would be caused by the erection of the clubhouse, and the formation of the access road and car park, it is not considered that the benefits stated are of sufficient merit to outweigh the harm that would be caused.

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22nd January 2020

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Other matters

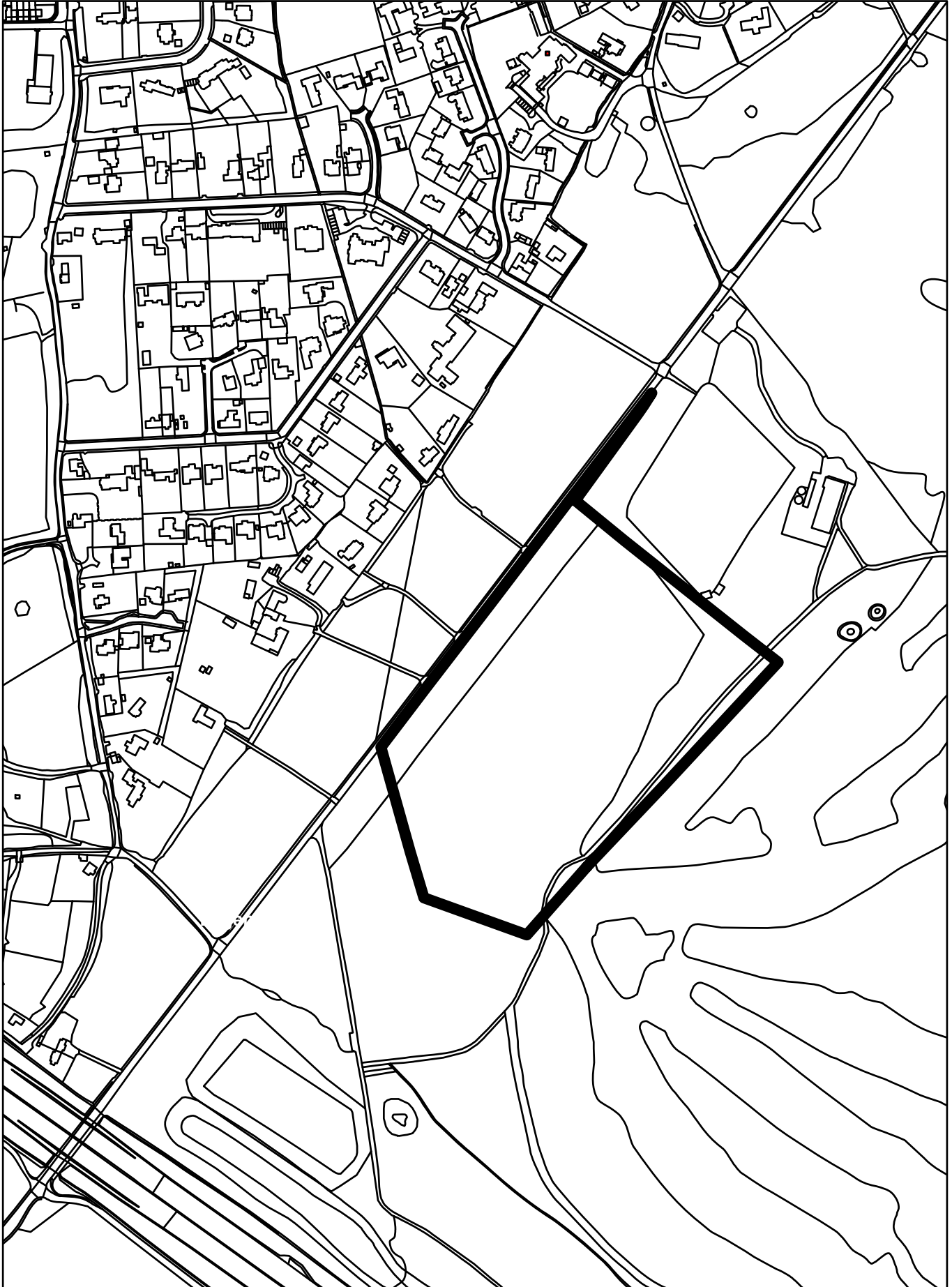
- 6.55 Representations have been received regarding noise and disturbance and inconvenience during the construction period. The proposed development is not considered to result in an unsatisfactory level of disturbance. Whilst there may be a degree of inconvenience and disturbance during the construction phase, the proposal would not warrant refusal on this basis and statutory nuisance legislation exists to control any significant levels of disturbance. The fear of crime has also been stated as an objection.
- 6.56 The site is not in an area at risk of flooding and falls within Flood Zone 1 according to the Environment Agency flood mapping. No information has been submitted with regards to drainage on the site. However, in the event that planning permission was to be granted, it is considered that suitably worded conditions could be imposed to ensure that a SuDS Scheme is properly implemented and maintained throughout the lifetime of the development.

7.0 Conclusion

- 7.1 In light of these comments, it is not considered that very special circumstances have been demonstrated to outweigh the harm that is caused by reason of inappropriateness and the other harm identified. Accordingly, it is recommended that planning permission be refused for the reasons stated.

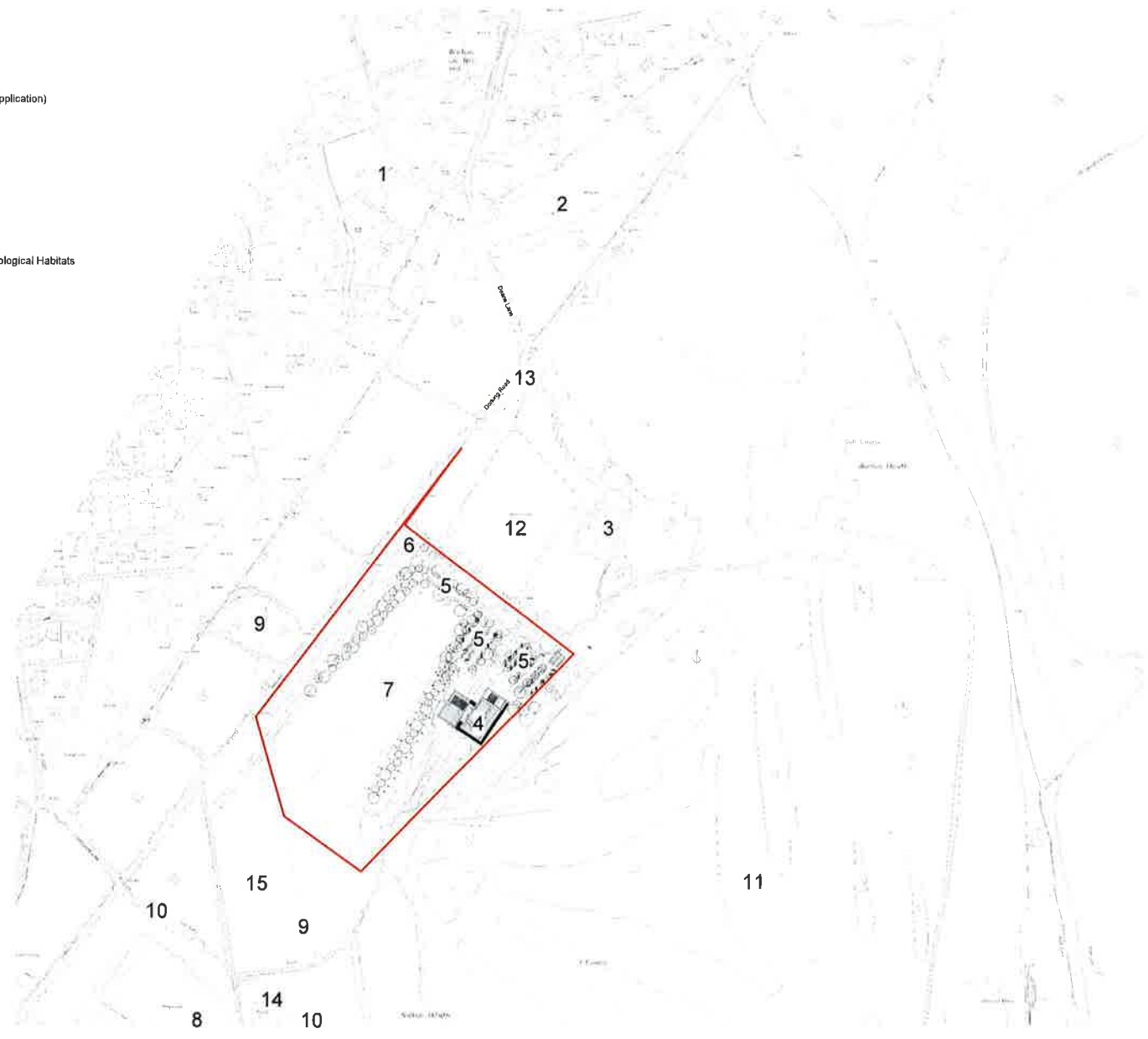
The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and whilst planning permission been refused regard has been had to the presumption to approve sustainable development where possible, as set out within the National Planning Policy Framework.

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19/01513/F - Walton Heath Golf Club, Deans Lane,
Walton On The Hill



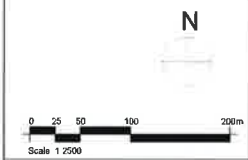
Site Masterplan

1. Existing Clubhouse Site (subject to separate application)
2. Existing 1st Fairway Old Course
3. Existing Maintenance Building
4. Proposed New Clubhouse
5. Proposed Clubhouse Parking
6. Proposed Access Road
7. Proposed Practice Area
8. Existing Irrigation Reservoir with Enhanced Ecological Habitats
9. Existing Public Footpaths
10. Existing Bridleways
11. Golf Courses
12. Existing Playing Fields
13. Unlisted Car Park
14. Proposed New Hide and Nature Walk
15. Proposed New Heathland Habitat



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Revisions	Reason	Date	Description
1		18/11/2018	General amendments
2		14/01/2019	General amendments
3		14/02/2019	Practice was amended
4		25/02/2019	Proposed access road widened
5		14/04/2019	General amendments
6		09/07/2019	General amendments
7		15/07/2018	General amendments



PLANNING

Project
Walton Heath Golf Clubhouse, KT20 7TP

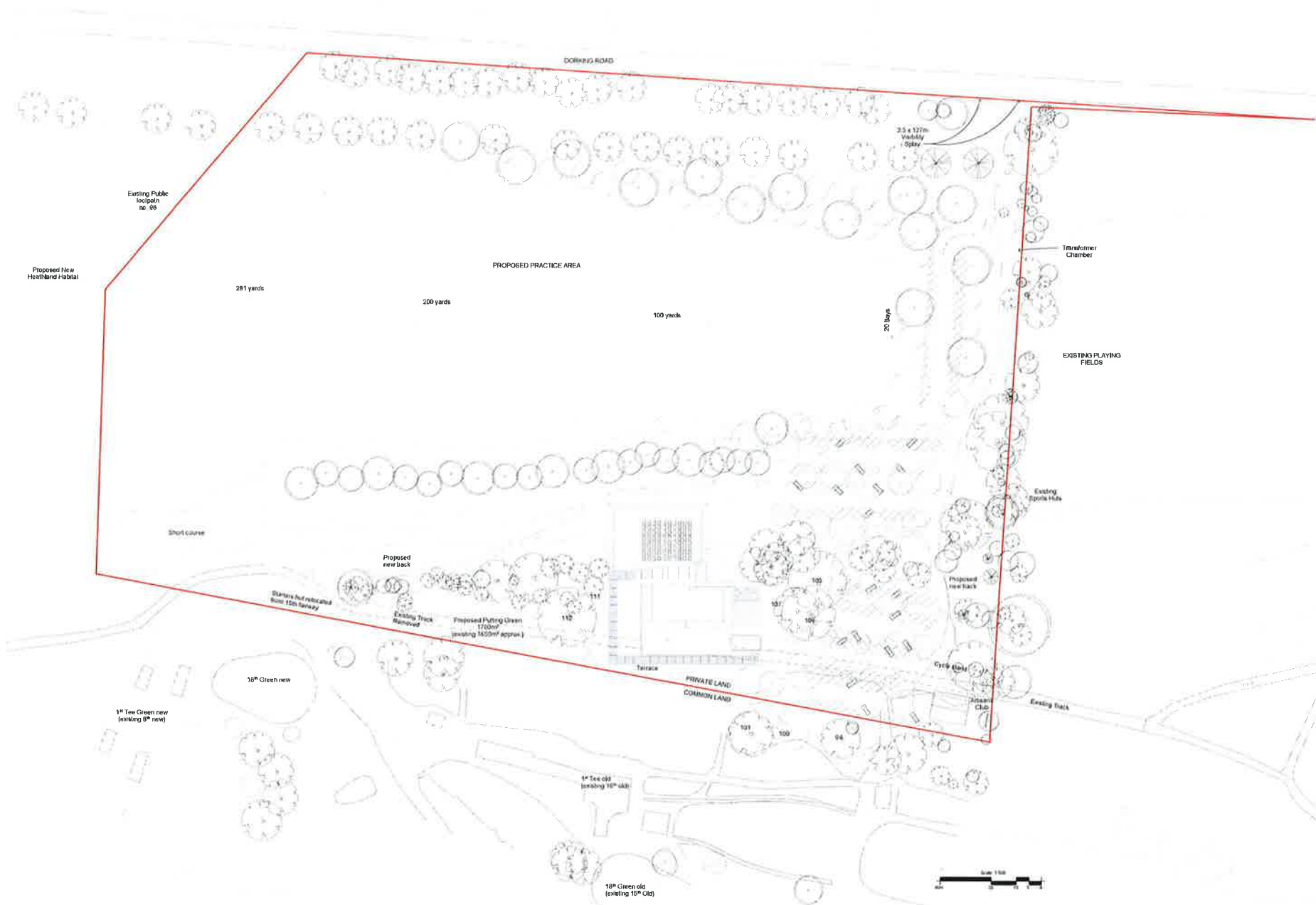
Title
Proposed Masterplan

Number: L718_P101003 7
Revision: MD

Scale: 1:2500
Sheet Size: A1
Checked: PD

Date: 07/12/2018
Status: Planning

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No.	Description	Date	By	Checked
1	Issue for tender			
2	Issue for construction			
3	Issue for construction			
4	Issue for construction			
5	Issue for construction			

Site Legend:
 Site Boundary



PLANNING

Walton Heath Golf Clubhouse KT20 7TP

Proposed Site Plan

Project: L716_P10/004
 Scale: 1:100 @ A3
 Date: 07/12/2016
 Discipline: Planning

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Site Plan - Presentation
1 : 500

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Symbol	Description
(Red line)	Site Boundary
(Green circle)	Existing Trees
(Light green circle)	New Trees

Site Legend:

(Red line)	Site Boundary
(Green circle)	Existing Trees
(Light green circle)	New Trees



PLANNING

Woking Heath Golf Clubhouse KT20 7TP

Proposed Site Plan - Colour

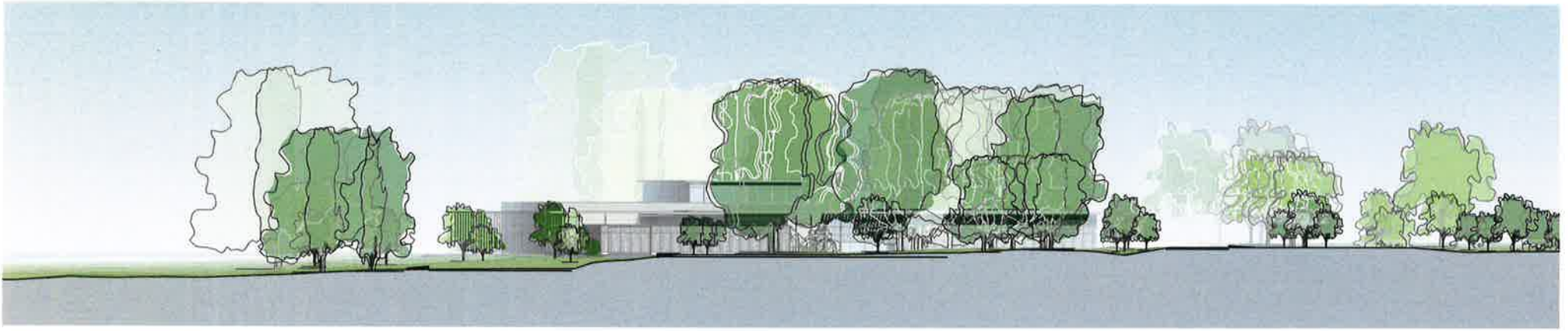
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07/12/2016 Planning

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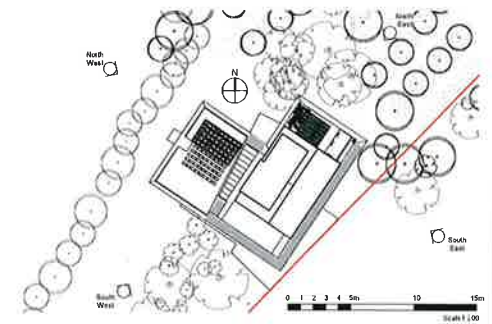
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NE Elevation viewed from Car Park with Site Context
1 : 200



SE Elevation viewed from Golf Course with Site Context
1 : 200



41

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Revision	Date	Description
1	04/12/2015	General amendments
2	11/01/2019	Windows arrangement updated
3	06/07/2019	General amendments

Project
Walton Heath Golf Clubhouse, KT20 7TP

Title
Proposed Elevations - Sheet 2

Number	L718_P(0)001	Revision	3
Scale	As indicated		
Date	07/12/2018		
Drawn	ME		
Checked	<input type="checkbox"/>		

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PLANNING



Artisans Elevation 1 (NW) with Context

1 : 200



Artisans Elevation 2 (NE) with Context

1 : 200



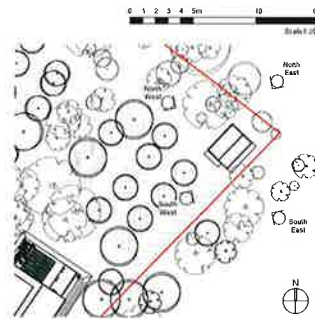
Artisans Elevation 3 (SE) with Context

1 : 200



Artisans Elevation 4 (SW) with Context

1 : 200



42

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Revised	Date	Description

Walton Heath Golf Clubhouse, KT20 7TP

Artisans Elevations with Context

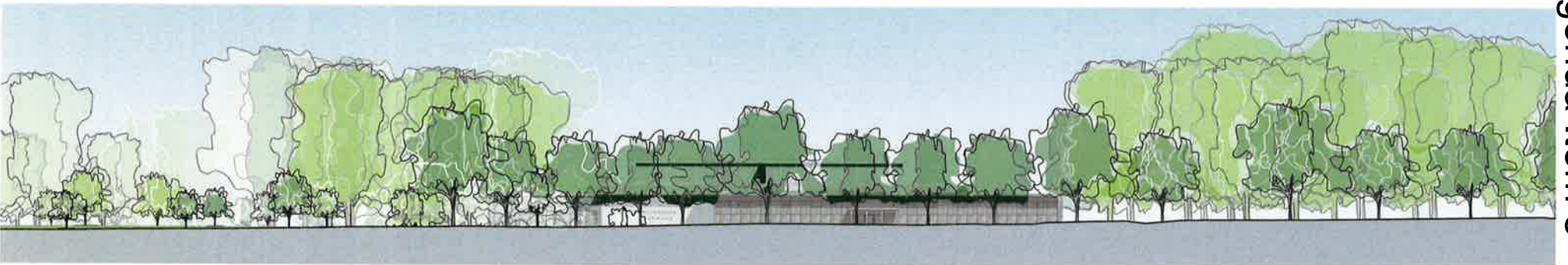
Number	L716_P101305	Revision	1
Scale @ A1	As Indicated		
Date	12/13/18		
Drawn	ME		
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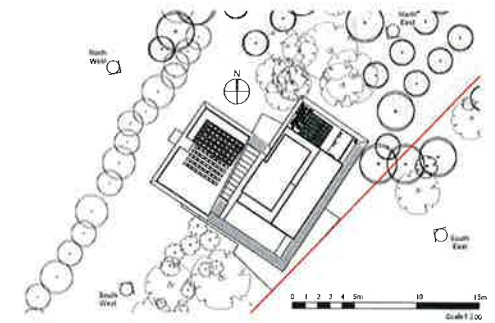
PLANNING



SW Elevation viewed from Putting Green with Site Context
1 : 200



NW Elevation viewed from Practice Area with Site Context
1 : 200



43

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Revision	Date	Description
1	16/12/2018	General arrangements
2	15/01/2019	Window arrangements updated
3	16/07/2019	Client amendments

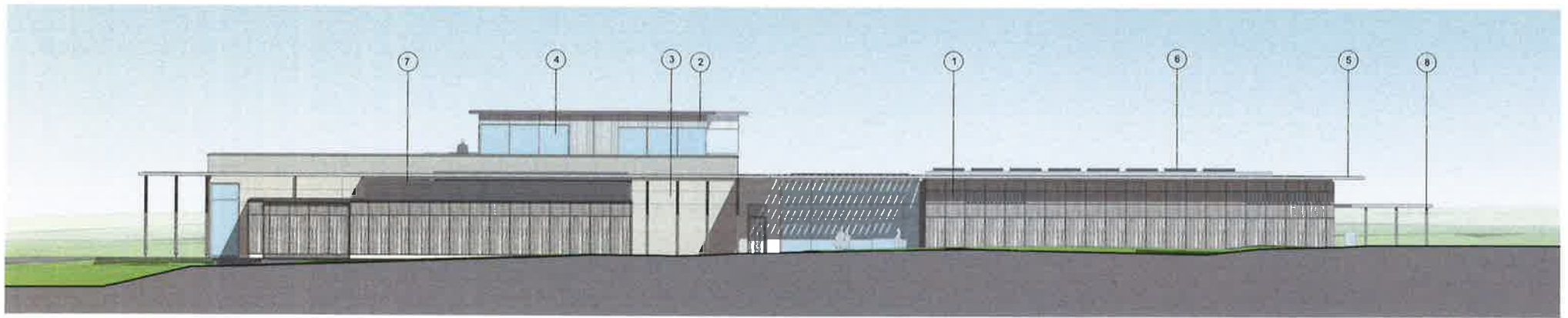
Project
Walton Heath Golf Clubhouse, KT20 7TP

Title
Proposed Elevations - Sheet 1

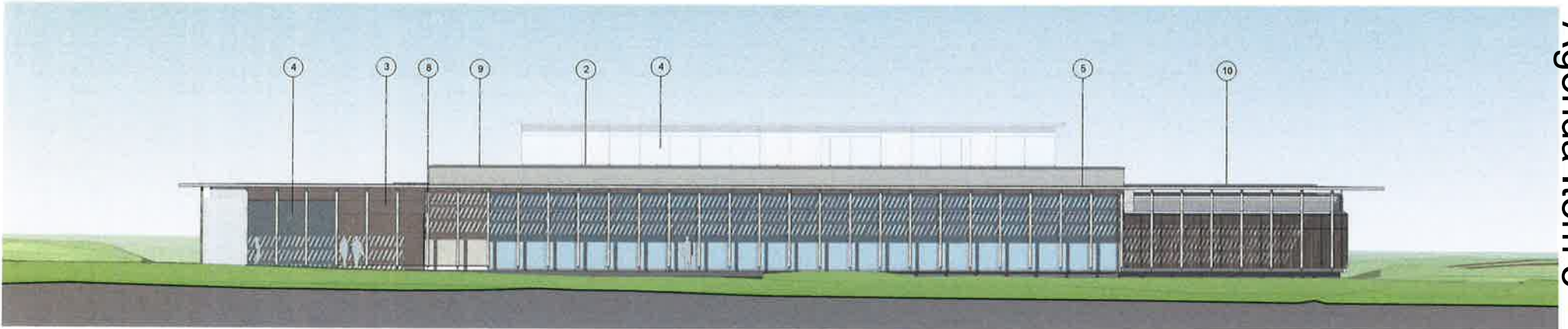
Number	L718_P/01300	Revision	3
Scale (if 1:1)	As indicated		
Date	07/12/2018		
Client	ME		
City/State	<input type="checkbox"/>		

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PLANNING



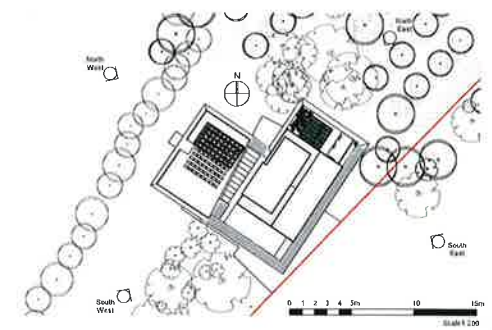
NE Elevation viewed from Car Park
1 : 100



SE Elevation viewed from Golf Course
1 : 100

LIST OF MATERIALS:

1. Timber panelling
2. Pre-weathered metal sheets
3. Reconstructed stone
4. P.P.C. metal frame with double glazed windows
5. P.P.C. perforated metal panels
6. Photovoltaic panels
7. Metal louvres
8. Timber columns
9. Pre-weathered Metal balustrade
10. Recessed M&E roof equipment
11. Double Glazed Curtain Wall



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Agenda Item 5

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Revision	Date	Description
1	21/01/2018	Windows arrangement updated
3	05/07/2019	General amendments

Walton Heath Golf Clubhouse, KT20 7TP

Proposed Elevations - Sheet 4

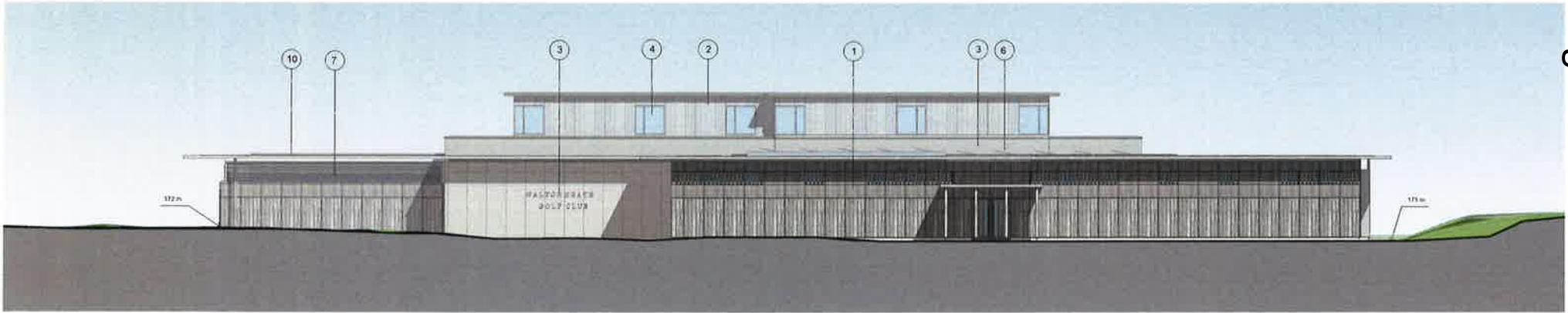
Number	L718_P(0)303	Revision	2
Scale	As indicated		
Date	12/12/18		
Drawn	ME		
Checked			

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PLANNING

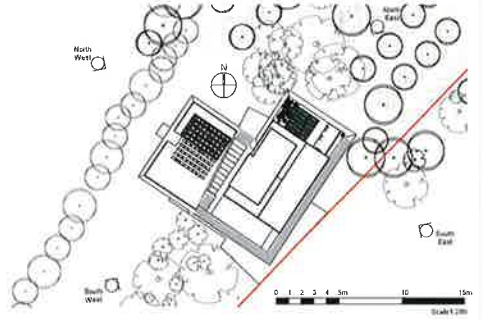


SW Elevation viewed from Putting Green
1 : 100



NW Elevation viewed from Practice Area
1 : 100

- LIST OF MATERIALS:
1. Timber panelling
 2. Pre-weathered metal sheets
 3. Reconstructed stone
 4. P.P.C. metal frame with double glazed windows
 5. P.P.C. perforated metal panels
 6. Photovoltaic panels
 7. Metal louvres
 8. Timber columns
 9. Pre-weathered Metal balustrade
 10. Recessed M&E roof equipment
 11. Double Glazed Curtain Wall



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Revision	Date	Drawn by	Checked by
1	21/11/2019	Wendy Aronson	Supriya
2	12/07/2019	General amendments	

Project
Walton Heath Golf Clubhouse, KT20 7TP

Proposed Elevations - Sheet 3

Number	Revision
L718_P(0)302	2
Scale	As indicated
Date	12/12/18
Drawn	ME
Checked	

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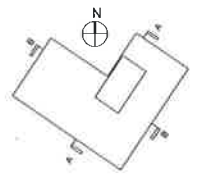
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Section A-A Viewed from Putting Green
1 : 200



Section B-B Viewed from Car Park
1 : 200



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Number	Date	Description
1	14/12/2016	General principles
2	15/07/2018	Revised principles

Project: **Walton Heath Golf Clubhouse, KT20 7TP**

Title: **Proposed Sections A-A & B-B**

Number	Revision
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Scale @ A1	1: 200
Date	07/12/2018
Drawn	ME
Checked	

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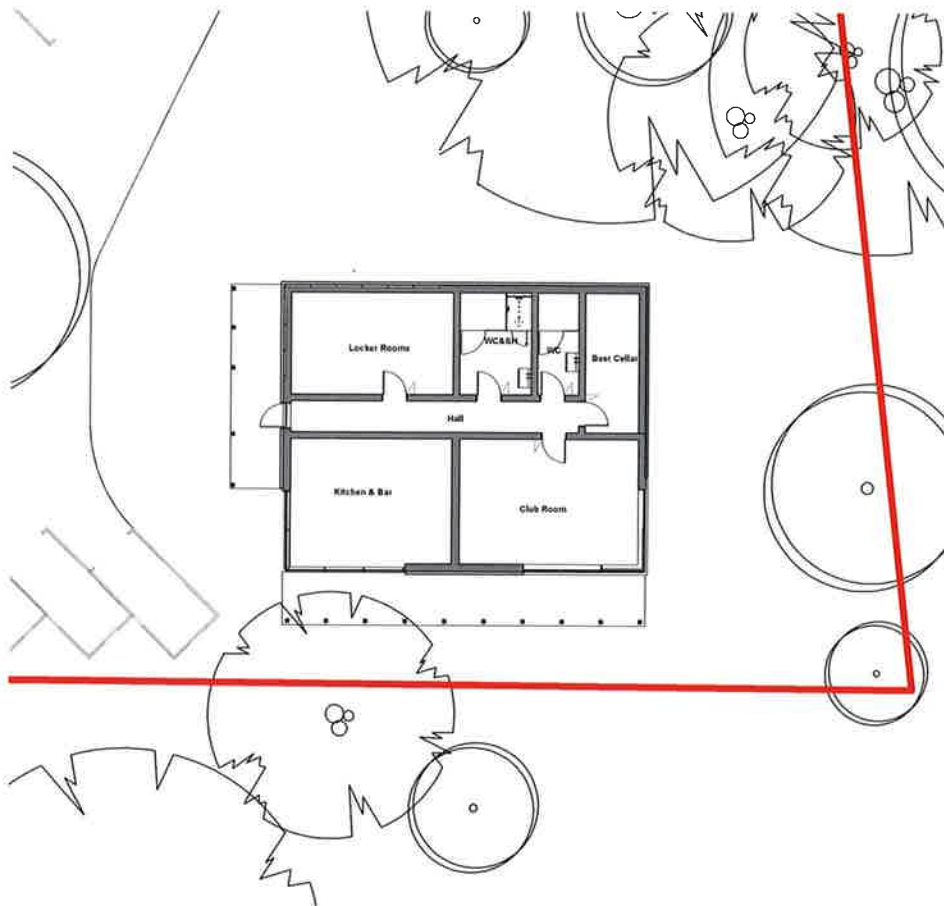
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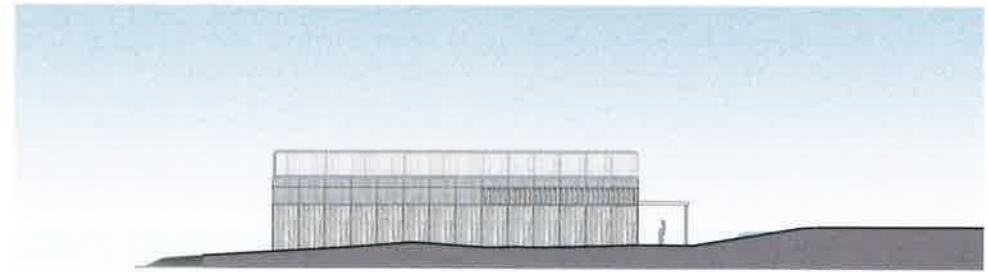
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Model name and location
CFP - Green Planning.dwg

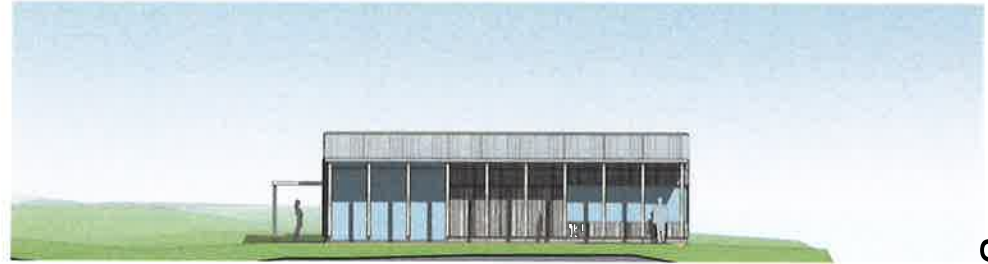
PLANNING



Ground Floor - Artisans 1-100
1 : 100



Artisans Elevation 1 (NW)
1 : 100



Artisans Elevation 3 (SE)
1 : 100



Artisans Elevation 4 (SW)
1 : 100



Artisans Elevation 2 (NE)
1 : 100



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Model name and location: C:\P - Streets Planning.dwg

Revision	Date	Description
1	12/11/18	General amendments

PLANNING

Project	Walton Heath Golf Clubhouse, KT20 7TP
Title	Artisans Plan and Elevations

Number	L718_P101306	Revision	1
Scale @ A1:	1 : 100		
Date	12/11/18		
Drawn	IME		
Checked			


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Agenda Item 6

Planning Committee
22nd January 2020

Agenda Item: 6
19/01514/OUT

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	22 nd January 2020
	REPORT OF:	HEAD OF PLACES & PLANNING
	AUTHOR:	James Amos
	TELEPHONE:	01737 276188
	EMAIL:	james.amos@reigate-banstead.gov.uk
AGENDA ITEM:	6	WARD: <i>Lower Kingswood, Tadworth and Walton</i>

APPLICATION NUMBER:	19/01514/OUT	VALID:	12/09/2019
APPLICANT:	Walton Heath Golf Club	AGENT:	
LOCATION:	WALTON HEATH GOLF CLUB, DEANS LANE, WALTON ON THE HILL		
DESCRIPTION:	Outline planning application with all matters reserved (excluding access) for the demolition of the existing buildings and provision of up to 13 residential dwellings, residential amenity space, associated car parking, access and associated works		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee as the application has raised considerable levels of local interest.

SUMMARY

This is an outline planning application (with access to be determined at this stage) for the redevelopment of the golf clubhouse site at Walton Heath Golf Club with a residential development comprising of 13 dwellings, consisting of three detached houses and a block of 10 apartments.

A separate full application, also on this Planning Committee agenda, for a new golf clubhouse on land on the eastern side of Dorking Road, is recommended for refusal on the grounds that the proposals are considered to comprise inappropriate development within the Green Belt.

The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms. However, the use of the site is classified as a community use under the terms of Core Strategy Policy CS12 and DMP Policy INF2. Part of the site is also located within the Walton on the Hill Conservation Area and an historic garden is located on a part of the site at the southern edge adjacent to Dormy House and no.8 Greenways.

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22nd January 2020

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19/01514/OUT

Given that the application for a new clubhouse is recommended for refusal, and in the absence of an appropriate replacement clubhouse, it is considered that the loss of the existing clubhouse on the site would be unacceptable and would lead to the unacceptable loss of a community facility which would be harmful to the vitality, viability and provision of services provided by the existing golf club, contrary to adopted policy.

The application is made in outline form with means of access to be determined at this stage. The proposed layout shows three detached dwellings in the northern part of the site and a two/three storey block of 10 apartments in the south-eastern side of the site. In itself the proposed layout is considered acceptable and would preserve the character and appearance of the Conservation Area. Revised plans have been submitted which have reduced the number of proposed detached dwellings to three and which have provided more information, through a Design Code, on the design, scale, mass and detailing of the proposed dwellings and the proposed block of flats. However, it is considered that the proposed block of apartments would be too large for the site and would dominate this part of the Conservation Area to an unacceptable degree. It is also considered that the proposed apartment block would, due to its overall size and close proximity, have a harmful impact on the neighbouring historic garden.

Although full details of the layout, design and appearance of the buildings have not been provided, it is considered that, given the reasonable levels of the separation to neighbouring properties, the amenities of neighbouring residents would not be adversely affected. Existing boundary hedges would be retained to maintain a screen around the site.

DMP Policy DES6 relates to affordable housing and supersedes Core Strategy Policy CS15. The policy states that the Council will negotiate affordable housing provision and contributions taking into account the specifics of the site, including financial viability. The policy states that on developments providing 11 or more homes, 30% of the homes on the site should be affordable housing

The application was submitted prior to the adoption of the DMP and in their submission, the applicants confirm that they would make a financial contribution towards affordable housing amounting to 20% of the number of units. However, following the adoption of the DMP, it has not been confirmed by the applicants that the proposals would comply with the new policy, nor has a suitable legal mechanism been agreed with the Council to ensure delivery of the affordable housing. In the absence of an appropriate legal agreement, it is considered that the proposals fail to accord with DMP Policy DES6.

The highways impact of the proposals have been reviewed by Surrey Highways and the access arrangements and level of parking provided are considered acceptable. It is also considered that the proposals would not cause harm to any bio-diversity interests and that if permission was to be granted conditions relating to ecological mitigation, drainage and tree protection would be imposed.

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However, it is considered that the loss of the existing clubhouse would be unacceptable, in the absence of a suitable replacement facility and that harm would be caused to the character and appearance of the Walton on the Hill Conservation Area and the adjoining historic garden.

RECOMMENDATION:

Planning permission is **REFUSED** for the following reasons:

- 1) It has not been demonstrated to the satisfaction of the local planning authority that, in the absence of a suitable replacement facility, the loss of the existing clubhouse would not have an adverse impact on the vitality, viability and provision of services provided by the existing golf club, thereby contrary to policy CS12 of the Reigate and Banstead Core Strategy, Policy INF2 of the Development Management Plan 2019.
- 2) The proposed block of flats, by virtue of its scale, height and mass, would appear unduly prominent in the street scene, out of context with the locality, and harmful to the character and appearance of the Walton on the Hill Conservation Area thereby contrary to policy CS4 of the Reigate and Banstead Core Strategy, Policies DES1 and NHE9 of the Development Management Plan 2019 and the provisions of the National Planning Policy Framework in relation to "Good Design".
- 3) The proposed block of flats by virtue of its overall scale and mass, and its close proximity to the historic garden, is likely to have a harmful impact on the historic garden on the site, thereby contrary to policy CS4 of the Reigate and Banstead Core Strategy, Policy NHE9 of the Development Management Plan 2019 and the provisions of the National Planning Policy Framework.
- 4) In the absence of a signed legal agreement to provide affordable housing or an off-site contribution in lieu, the proposal would fail to satisfy the requirements of Policy DES6 of the Development Management Plan 2019 and National Planning Policy Framework 2019.

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Consultations:

Highway Authority: In their original consultation response, the County Highway Authority noted that the planning application affects a road for which Surrey County Council is the Highway Authority. The CHA noted that the development is located within an area with an accessibility scale of 2. This means that the proposed development is likely to be accessible by car. The nearest public transport is over 500 metres away via a network of paths that are unlit. The nearest areas of a choice of employment, education, leisure and retail land uses are not accessible by walking and cycling due to a lack of well-lit walking and cycling routes to these uses and to public transport. The aforementioned means that the site is only accessible by the private car. The applicant is proposing 23 parking spaces instead of the 33 that the applicant should be providing for the location of the site, according to Reigate and Banstead Parking Standards as shown in the Reigate and Banstead Local Plan Development Management Plan September 2019.

The County Highway Authority is concerned that the location of the site may lead to parking on the highway where no such parking is taking place. The applicant's report for the existing golf club car parking states that it is all contained within the site. There is space within the site to accommodate 10 extra parking spaces. The applicants were requested to provide a drawing showing up to 33 parking spaces.

Revised drawings have been submitted and any further comments from Surrey highways will be reported verbally at the meeting.

Conservation and Heritage Officer: Initially raised objections to scheme on design and conservation grounds. Those objections have been partially overcome by submission of revised plans. It is considered that the layout is generally acceptable with the reduction in the number of houses (to 3) but the scheme is still unacceptable due to;

- The apartment block encroaching on the historic garden designation.
- The ridge height and span of the apartment block roof being too wide and too high.
- The roof pitch being too steep.
- The illustrative form of the apartment block is not particularly satisfactory in terms of its staggered disjointed central break in the roof line and the lack of chimneys (contradicting the design code).

Furthermore, it is considered that the submission of an outline application for a major development in a Conservation Area is problematic. If planning permission was to be granted, consideration would need to be given to a number of conditions as follows:

- Removal of permitted development rights including elevation changes.
- Need to control not only materials but the detailing of materials and fenestration.
- A condition that there should be no demolition of existing without a binding contract to build the scheme.
- Condition in regard to a Historic Garden Management Plan and removal of outbuilding from historic garden.

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- Boundary treatment and landscaping conditions. (with a need for a conservation input)
- Need for archaeological condition as site over 0.4 hectares (Presume this would also be the case for the club house on the heath, and particularly important given the roman remains on the heath increasing chances of finds within the vicinity as well as evidence of roman field systems in the area).

Environmental Health (Contaminated Land): There is some potential for contamination to be present either on or close to the application site. As such, a condition to deal with contaminated land and an informative to provide additional guidance is recommended.

Surrey Hills AONB – The site lies within the built-up area and borders the AGLV. It is not considered the proposed redevelopment of the clubhouse and car park with 14 dwellings would have any implications for the AGLV.

Surrey Police – Refers to Secured by Design principles but is not able to find any reference to security or the creation of a safe and secure environment within the submitted application. Considers that it would have been prudent for the applicant to consult the local Designing out Crime officer prior to the submission to ensure clarity for security design compliance Without this detail, it is not possible to make an informed decision so at this time must side with caution and oppose the application.

Surrey CC Rights of Way – Notes that the site is alongside public footpath Banstead FP94 and note that that whilst development is underway, safe public access must be maintained and offers advice on ensuring that drainage does not occur over the footpath, that there are no obstruction of the footpath and refers to a requirement to consult with the Public Rights of Way team if any alterations to the path are proposed.

Surrey Wildlife Trust - In their first set of the comments, the Trust stated that the applicant did not appear to have submitted any ecological survey information in support of the above planning application, which can make it difficult for the Local Authority to fully consider the possible adverse effect this development proposal may have on legally protected species, a material concern and the biodiversity value of the site. The Natural Environment and Rural Communities (NERC) Act (2006) (Section 40) states, *“Every public authority must, in exercising its functions, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity”*. Section 40(3) also states that, *“conserving biodiversity includes, in relation to a living organism, or type of habitat, restoring or enhancing a population or habitat”*.

Without ecological survey information it was difficult for the Trust to advise fully on the ecological consequences of the proposed development. They did however, provide the following advice;

The Trust advised that the Ecological Appraisal Report by LUC dated June 2019, which the applicant has provided in support of planning application 19/01513/F, provides much useful information for the Local Authority to be able to assess the

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potential status of protected and important species on the proposed development site and the likely effect of the development on them.

They drew the attention of the Local Authority to section 3.42 of the Report which states that if there has been a “significant time lapse” between the time of survey and the implementation of proposals, “updated ecological surveys may be required”.

As two survey seasons have passed, since the original surveys were undertaken they would advise the Local Authority to confirm with the applicant if their ecologist is of the opinion that the findings of these surveys are still relevant for this application or if further surveys are required to allow the Local Authority to consider the effect of the development on the site’s current biodiversity and any mitigation proposals which may now be required to prevent adverse effect.

If further updated surveys are required, they stated that they would be pleased to comment further when the results of this survey work are made available. If the answer to the above is that the surveys undertaken and the ecologist’s recommendations are still relevant, we have the following comments.

Should the Local Authority be minded to grant this planning application for this site, the applicant should be required to undertake all the recommended actions in section 5 of the Report for ‘Site A’ including 5.23-5.36. With particular reference to ‘Site A’ for the need for the applicant to;

- Obtain a Low Impact Class Licence from Natural England following the receipt of planning permission and prior to any works which may affect bats commencing and to;
- Undertake all the actions as outlined (5.32-5.36).
- For nesting birds sections 5.64-5.67 and enhancements as described in 5.68-5.70

This will help prevent adverse effect to legally protected species resulting from the proposed development works.

With regards to biodiversity, the Trust note that the National Planning Policy Framework (Revised February 2019) (NPPF) (paragraph 170), requires the planning system to aim to conserve and enhance the natural and local environment by minimising impacts on biodiversity. Paragraph 174 of the revised NPPF also states that opportunities for securing measurable net gains for biodiversity should be identified and pursued.

This development may offer some opportunities to restore or enhance biodiversity and such measures will assist the Local Authority in meeting the above obligation and also help offset any localised harm to biodiversity caused by the development process. The Trust’s recommendations in this instance are outlined below.

- Providing bird boxes erected on the new buildings or on suitable trees on site; these should be for species likely to use this site including Swift, House Martin, House Sparrow and Starling.
- Using native species when planting new trees and shrubs, preferably of local provenance from seed collected, raised and grown only in the UK, suitable for

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site conditions and complimentary to surrounding natural habitat. The priority should be to source planting stock from the seed zone of the planting site, but with the inclusion of a proportion from other nearby seed zones, particularly from the south east. This will introduce some genetic variation which may allow woodland to adapt more easily to future climate change.

- Boundary planting is particularly important as native species hedgerows and tree lines can facilitate the movement of animals through a developed area. Existing native species trees and hedgerows should be retained and enhanced by appropriate conservation management.
- Where cultivated species are selected, consider using those that provide nectar-rich flowers and/or berries as these can also be of considerable value to wildlife. Plantings of foreign species of invasive habit should be avoided adjacent to natural habitat. The use of peat-based composts, mulches and soil conditioners should be avoided due to the loss of important natural peatland habitat.

Following the submission of further information, the Trust advised that the letter of response to their comments dated 5th November by Rebecca Turner, Senior Ecologist at LUC dated 19th November an Ecological Appraisal Report dated June 2019 by LUC, appropriately address the concerns we raised in our letter of the 5th concerning the time lapse since the original surveys and lack of ecological information. Ms Turner states in her letter that the finding of their Ecology Appraisal Report is still relevant for this application. They therefore advise that their comments and advice of the 5th of November are still appropriate for this application.

Surrey CC Drainage Team - The following documents submitted as part of the above application have been reviewed and should be referred to as part of any future submissions:

Foul and Surface Water Drainage Strategy, 11/09/19, Version: Preliminary issues, Rev P1, Project no: A6456, CTP consulting engineers;
Existing site plan, June 2018, Job ref: 02036, Drawing no: 120 Rev p1, HMY

We are not satisfied that the proposed drainage scheme meets the requirements set out in the aforementioned documents because significant issues have been identified. To overcome this, the following information is required:

- Justification should be provided to explain why Ground Investigations confirming suitability (or lack of) soakaway drainage have not been provided.
- The drainage design should take into account the SuDS Hierarchy. There is a watercourse within the boundary of the site and therefore consideration of whether discharge to this is feasible should be provided.
- Point 3.2 states that the discharge rate will be attenuated to match the existing greenfield Qbar run-off rate which is 0.5 l/s, however point 5.2 part iii) states that you are proposing a discharge rate of 5l/s. 5 l/s is not considered a practicable minimum discharge rate based on the risk of blockage. Many low flow control devices are available on the market to enable very low discharge rates to be achieved. In accordance with Technical Standard S3: 'For developments which were previously developed, the peak runoff rate from the development to any drain, sewer or surface water body for the 1 in 1year

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rainfall event and the 1 in 100 year rainfall event must be as close as reasonably practicable to the greenfield runoff rate from the development for the same rainfall event, but should never exceed the rate of discharge from the development prior to redevelopment for that event.'

- No evidence has been provided which confirms how the Technical Standard has been met.
- In the absence of a topographical survey the applicant should confirm what they have used to determine site levels.
- Calculations (MicroDrainage or similar) for the proposed site to demonstrate that the attenuation required is available onsite.
- Exceedance events must be considered in accordance with Technical Standard S9.
- No maintenance considerations have been identified. Who will be responsible for the surface water drainage system and what maintenance activities will need to be undertaken?

Should the Applicant wish to discuss our concerns in more detail we provide a pre-application advice service, details of which are available on our website: <https://www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/flooding-advice/more-about-flooding/suds-planning-advice>

A full list of the information we expect to receive as part of Outline Planning Application can also be found using the above link.

In the event that planning permission be granted, suitably worded conditions should be applied to ensure that the SuDS Scheme is properly implemented and maintained throughout the lifetime of the development. Suggested conditions are below:

- 1) The development hereby permitted shall not commence until details of the design of a surface water drainage scheme have been submitted to and approved in writing by the planning authority. The design must satisfy the SuDS Hierarchy and be compliant with the national Non-Statutory Technical Standards for SuDS, NPPF and Ministerial Statement on SuDS. The required drainage details shall include:
 - a. The results of infiltration testing completed in accordance with BRE Digest: 365 and confirmation of groundwater levels.
 - b. Evidence that the proposed final solution will effectively manage the 1 in 30 & 1 in 100 (+40% allowance for climate change) storm events and 10% allowance for urban creep during all stages of the development. If infiltration is deemed unfeasible, associated discharge rates and storage volumes shall be provided using a discharge rate to be agreed with Surrey County Council as LLFA.
 - c. Detailed drainage design drawings and calculations to include: a finalised drainage layout detailing the location of drainage elements, pipe diameters, levels, and long and cross sections of each element including details of any flow restrictions and maintenance/risk reducing features (silt traps, inspection chambers etc.).

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- d. A plan showing exceedance flows (i.e. during rainfall greater than design events or during blockage) and how property on and off site will be protected.
- e. Details of drainage management responsibilities and maintenance regimes for the drainage system.
- f. Details of how the drainage system will be protected during construction and how runoff (including any pollutants) from the development site will be managed before the drainage system is operational.

Reason: To ensure the design meets the national Non-Statutory Technical Standards for SuDS and the final drainage design does not increase flood risk on or off site.

- 2) Prior to the first occupation of the development, a verification report carried out by a qualified drainage engineer must be submitted to and approved by the Local Planning Authority. This must demonstrate that the drainage system has been constructed as per the agreed scheme (or detail any minor variations), provide the details of any management company and state the national grid reference of any key drainage elements (surface water attenuation devices/areas, flow restriction devices and outfalls).

Reason: To ensure the Drainage System is designed to the National Non-Statutory Technical Standards for SuDS.

Informatives

If proposed site works affect an Ordinary Watercourse, Surrey County Council as the Lead Local Flood Authority should be contacted to obtain prior written Consent. More details are available on our website.

If proposed works result in infiltration of surface water to ground within a Source Protection Zone the Environment Agency will require proof of surface water treatment to achieve water quality standards.

In response to these comments, the Applicants noted that the application was made in outline only and that certain detailed information had not been sought ahead of any outline planning permission (e.g. the soil investigation). They stated that it was the intention of the golf club to amend drainage strategy later if any detailed work was to affect their proposals.

In response to this the Surrey CC drainage Team stated that as this was an outline application, they required basic information to show where surface water attenuation is proposed and demonstrates it is feasible at detailed design stage.

They referred to their guidance and on pro-forma and stated that they always expect this information to be provided to support an outline application. However, it was appreciated that there can be certain constraints which may mean this is not always possible. For example, accessibility/site ownership. If this was the case and the applicants could provide this evidence, then this part could be conditioned. A further

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request was made for more detailed information, including reasons why the information could not be provided at that time.

No further response was received from the applicants.

Tadworth and Walton Residents Association – State that they would have liked to have more information in order to comment on the application. The site is an important location within the Conservation Area and would have preferred more information rather than just access and the number of units. Consider that there is insufficient parking for luxury dwellings in this location. Unit 3 will adversely affect the amenities of no.26, Greenways. There should be a requirement to retain existing hedges which are an important feature of the area and protect the privacy of adjacent dwellings. Concerned that the apartment block would be intrusive because of its height, massing and location. At present, the open aspect of this part of the conservation area is an important part of the street scene. The Dormy House is set further back from the green Belt boundary and well shielded. There should be greater tapering back from the green Belt frontage. It is suggested by the indicative plans that too much floorspace is being accommodated on the site, particularly as there is no break-down between apartments and houses. If 14 houses were proposed, this would amount to a gross overdevelopment of the site. Suggest that if planning permission is to be granted, it should be carefully conditioned to protect the amenities of the area and adjacent residents. Also, aware that many residents are concerned that, once sold off, the purchasers are likely to try to intensify the development.

In a second letter following the receipt of revised plans, the Residents Association reiterate their earlier comments that, as the site is in a conservation area, we would have preferred a full rather than outline application which would have avoided the confusing parameter plans and design code. Their concerns at the cramped nature of the development, lack of parking and problems of overlooking have been largely overcome by the submitted modifications, although we still have concerns on the massing of the apartment block.

Representations:

Letters were sent to neighbouring properties on 24th September 2019, a site notice was posted 3rd October 2019 and advertised in local press on 25th September 2019. Neighbours were re-notified on the revised plans for a 14 day period commencing 17th December 2019.

37 responses have been received raising the following issues:

Issue	Response
Harm to Conservation Area	See paragraphs 6.8 - 6.14
Harm to Green Belt/Countryside	See paragraphs 6.8 - 6.14
No need for the development	See paragraph 6.5
Overdevelopment	See paragraphs 6.8 – 6.14
Overbearing relationship	See paragraphs 6.15 – 6.17

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Overlooking and loss of privacy	See paragraphs 6.15 – 6.17
Noise & disturbance	See paragraphs 6.15 – 6.17
Inconvenience during construction	See paragraph 6.23
Out of character with surrounding area	See paragraphs 6.8 – 6.14
Increase in traffic and congestion	See paragraph 6.21
Hazard to highway safety	See paragraph 6.21
Harm to wildlife habitat	See paragraph 6.25
Poor design	See paragraph 6.13
Inadequate parking	See paragraph 6.21
Loss of buildings	See paragraph 6.9
Loss of/ harm to trees	See paragraph 6.27
Drainage/sewage capacity	See paragraph 6.28
Property devalue (not a planning matter)	See paragraph 6.18
Loss of a private view (not a planning matter)	See paragraph 6.18
Covenant conflict (not a planning matter)	See paragraph 6.18

1.0 Site and Character Appraisal

- 1.1 The application site is located on the western side of Dorking Road and is within the defined urban area of Walton on the Hill, albeit it is on the edge of the built up area. The site comprises of the main clubhouse building (a predominantly single storey building with some first floor elements) along with a number of smaller single storey ancillary buildings. There is a large car park to the rear (north) of the clubhouse with an attractive soft landscaped area in front of the clubhouse incorporating a putting green. The car park is bounded by a dense hedgerow which largely obscures views of it and the buildings in behind and imbues the site with a landscape dominated character. The majority of the clubhouse site is within the Walton on the Hill Conservation Area.
- 1.2 The area surrounding the clubhouse is typified by detached properties set within generous well landscaped plots. Appearance is mixed but includes the more modern (1960's/70's) properties on Greenways, as well as the more traditional properties to the south and east which are in the Conservation Area. This includes the locally listed Dormy House which directly adjoins the site.

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1.3 The Council's Local Distinctiveness Guide identifies Walton on the Hill as a typical village which was expanded with traditional dwellings followed by Victorian/Edwardian Cottages and villas and later with 1930s – 1950s housing. Development in the latter half of the 20th Century has tended to be infill. Current issues include pressure for Infill development with pressure for more comprehensive development leading to loss of plot boundaries. The scale of replacement development can be out of character. Development within villages should retain the historic plot boundaries, listed and locally distinctive buildings, respect existing building lines, the ratio between building heights and street width. Development should reflect the surrounding urban form and consider both the use of local materials and the potential for contemporary design. All development should incorporate and enhance the existing landscape features -significant walls, trees and hedges where appropriate. Parking should be reduced wherever possible and located to the rear of buildings.

2.0 Added Value

2.1 Improvements secured at the pre-application stage: The applicant entered into pre-application discussions with the Council on two occasions. On the first occasion (Ref: PAM/17/00345), it was noted that the site is presently the clubhouse for the golf course and is therefore integral to its use and viability as a sporting and recreation facility. Policy Re1 (and CS12 of the Core Strategy) sets out that the Council will normally resist the loss of buildings used for recreation and leisure, except where alternative facilities are provided. This is consistent with the general thrust of the Framework at paragraph 74.

2.2 The applicants were advised that a proposal for redevelopment of the existing clubhouse for residential use would only be supported where alternative provision was in place (or was capable of being made). Without alternative provision, any proposal for the loss of the existing clubhouse would likely be refused. This position would likely be safeguarded through condition or legal agreement preventing residential development until alternative provision was in place.

2.3 With regards to the details of the proposals, it was proposed to redevelop the site with 14 dwellings. The applicants were advised that the Council would be likely to consider the submitted proposals as an overdevelopment which did not adequately respond to the spacious character of the Conservation Area. The applicants were advised to consider a smaller number of dwellings with larger plot sizes, in a more informal layout. Further advice was given with regards to the external appearance and use of materials.

2.4 In more general terms, the Council noted the importance of the Golf Clubhouse in the history of Walton on the Hill, and the positive contribution that it made to the character and appearance of the Conservation Area. It was stated that Any replacement building, or buildings would need to have regard to this site being the core of the Edwardian Conservation Area and be of a quality that enhances that special interest of the site, architecturally and historically, to a level appropriate to the positive character of the arts and crafts part of the Conservation Area.

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- 2.5 Further advice was given in relation to highways, the impact on neighbouring properties and on housing mix.
- 2.6 On the second occasion (Ref: PAM/18/00497) the applicants presented a revised for 12 dwellings comprised of 4 apartments and 8 detached houses. In addition to the advice noted above, the applicants were further advised that the proposals represented an overdevelopment of the site and did not adequately respond to the spacious character of the Conservation Area and were advised of a number of other detailed concerns in relation to the layout and relationship with neighbouring properties. The applicants were advised to further reduce the number of units on the site. The applicants were also advised that the Council would prefer the submission of a full application, rather than outline, although it was noted that the applicants intended to submit a Design Code with the application.
- 2.6 Improvements have been sought during consideration of the application. Revised plans have been submitted to reduce the number of detached dwellings from 4 to 3, and additional information has been submitted in terms of the size and potential layout of flats within the apartment building, as well as amore detailed and concise Design Code document.

3.0 Relevant Planning and Enforcement History

- 3.1 There is extensive planning history associated with the golf course; however, no recent planning history associated with redevelopment of a new clubhouse or the existing clubhouse site. The most recent application relates to provision of a golf practice facility (and associated works), on land adjacent to Site A (12/00181/F).

4.0 Proposal and Design Approach

- 4.1 This is an outline application for the demolition of the existing clubhouse buildings and provision of up to 13 residential dwellings, residential amenity space, associated car parking, access and associated works.
- 4.2 The only matter for approval at this stage is access. The remaining matters, i.e., appearance, landscaping, layout and scale would be for a later application if this is approved.
- 4.3 As amended, outline planning permission is sought for the redevelopment of the site with an apartment building containing 10 flats over 3 storeys at the front of the site, together with 3 detached two storey dwellings at the rear. The proposed dwellings would be provided with either a detached or an integral garage whilst each apartment would be provided with a garage space and an open parking space at the rear of the block. The proposed apartment building would be set back from the street frontage of Deans Lane.
- 4.4 The existing access to the site from Deans Lane would be re-used. It would run along the south-western boundary of the site to the rear of the proposed apartment block and then branch off towards the north-west to lead to the driveways for each of the proposed detached dwellings.

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- 4.5 The detailed design of the proposed buildings does not form part of this application, but a Design Code is submitted which sets out the detailed parameters for the design of the proposals.
- 4.6 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.7 Evidence of the applicant's design approach is set out below:

Assessment	The character of the surrounding area is assessed as a central location within the village and the conservation area.
	Site features meriting retention are listed as the boundary hedge.
Involvement	Community views were sought by the applicants at a community meeting and exhibition held at the golf club in October 2018.
Evaluation	The other development options considered were a scheme for 14 dwellings and a second proposal for 9 building, with 8 dwellings and an apartment building.
Design	The applicant's reasons for choosing the proposal from the available options were guided by advice from the Council and other consultees.

- 4.8 Further details of the development are as follows:

Site area	1.12ha
Existing use	Golf Clubhouse
Proposed use	Residential
Existing parking spaces	171
Proposed parking spaces	33
Parking standard	32
Number of affordable units	0
Net increase in dwellings	13
Infrastructure contribution	TBA

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Proposed site density	11.6 dpha
Density of the surrounding area	9.3 dpha

5.0 Policy Context

5.1 Designation

Urban Area
Walton on the Hill Conservation Area (part)

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS4 (Valued Townscapes and Historic Environment)
CS5 (Valued People/Economic Development)
CS10 (Sustainable Development)
CS11 (Sustainable Construction)
CS12 (Infrastructure Delivery)
CS14 (Housing Needs)
CS15 (Affordable Housing)
CS17 (Travel Options and accessibility)

5.3 Reigate and Banstead Development Management Plan 2019

DES1 (Design of New development)
DES4 (Housing Mix)
DES5 (Delivering high quality homes)
DES6 (Affordable Housing)
DES8 (Construction Management)
TAP1 (Access, Parking and Servicing)
CCF1 (Climate Change Mitigation)
NHE9 (Heritage Assets)
EMP5 (Local Skills and Training Opportunities)
INF2 (Community Facilities)
INF3 (Electronic communication networks)

5.4 Other Material Considerations

National Planning Policy Framework
National Planning Practice Guidance
Supplementary Planning Guidance

Surrey Design
Local Distinctiveness Design Guide
Vehicle and Cycle Parking
Guidance 2018
Affordable Housing

Other

Human Rights Act 1998
Community Infrastructure Levy
Regulations 2010

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6.0 Assessment

- 6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms. However, the use of the site is classified as a community use under the terms of Core Strategy Policy CS12 and DMP Policy INF2.
- 6.2 Part 5 of Core Strategy Policy CS12 states that the Council will resist the loss of existing leisure and community facilities (including sport, recreation and cultural facilities unless it can be demonstrated that:
- a. the existing use is surplus to requirements, or
 - b. equivalent or better provision in terms of quantity and quality, or some wider community benefits, will be made in a suitable location;
- 6.3 DMP Policy INF2 states that the loss or change of use of existing community facilities will be resisted unless it can be demonstrated that the proposed use would not have an adverse impact on the vitality, viability, balance of services and/or evening economy of the surrounding community; and
- a. Reasonable attempts have been made, without success, for at least six months to let or sell the premises for its existing community use or for another community facility that meets the needs of the community (see Annex 3 for details on what will be required to demonstrate this); or
 - b. The loss of the community facility would not result in a shortfall of local provision of this type, or equivalent or improved provision in terms of quantity and quality, or some wider community benefits, will be made in a suitable location.
- 6.4 DMP Policy INF2 goes on to state that proposals for the provision of new community, sports and recreational facilities will be encouraged provided:
- a. There is an identified local need which cannot be met from the use of the existing stock of community premises
 - b. The site would be easily and safely accessible to the local community; and
 - c. The proposed development would have no adverse impact on residential amenity or character of the area.
- 6.5 In support of the proposals, the applicants draw attention to the application for a new clubhouse (LPA ref: 19/01513/F) on the land to the east of Dorking Road. In their view, this proposal should be considered as an appropriate form of development within the green belt for which planning permission should be granted. However, the Council take the view that the proposals would be an inappropriate form of development in the Green Belt, which would have a harmful impact on openness. It is also considered that very special circumstances do not exist which would outweigh the harm that is caused by reason of inappropriateness and any other harm, and therefore, it

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has been recommended to the Planning Committee that the application for a new clubhouse be refused.

6.6 If that decision is confirmed, then the existing clubhouse would not be surplus to requirements and nor would equivalent or better provision have been made in a suitable location. The proposal would therefore conflict with the requirements of Core Strategy Policy CS12. Similarly, the proposal would conflict with part 1 (b) of DMP Policy INF2 as equivalent or improved provision in terms of quantity and quality, has not been made in a suitable location. The loss of the existing clubhouse is therefore considered unacceptable in principle.

6.7 Further main issues to consider are as follows:

- Design appraisal
- Neighbour amenity
- Highway matters
- Affordable Housing
- Bio-diversity
- Trees
- Drainage/Flooding
- Community Infrastructure Levy

Design appraisal

6.8 DMP Policy DES1 relates to the design of new development and states that new development will be expected to be of a high quality design that makes a positive contribution to the character and appearance of its surroundings. The policy lists a number of criteria that would need to be met if a proposal is to be found acceptable. For example, development should promote and reinforce local distinctiveness and respect the character of the surrounding area, including positive physical characteristics of local neighbourhoods and the visual appearance of the immediate street scene and make use of high quality materials, landscaping and building detailing. Development should also incorporate appropriate landscaping to mitigate the impact, and complement the design, of new development, as well as protect and enhance natural features.

6.9 As noted above, the site is partly located within Walton on the Hill Conservation Area. The southern part of the site containing the clubhouse and the practice putting green fall within the conservation area whilst part of the car park and the Artisan's clubhouse lie outside. Part of the site is also designated as an Historic Garden. This is located in the south-western corner of the site and extends over the access road into part of the garden of the neighbouring Dormy House. It comprises the remnant of a famous garden laid out by Gertrude Jeckyll in 1906. Only Shrubbery at the entrance to golf club survives includes variegated hollies and yew hedge favoured by Jeckyll.

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- 6.10 DMP Policy NHE9 states that development will be expected to protect, preserve, and wherever possible enhance, the Borough's designated and non-designated heritage assets and historic environment including special features, area character or settings of statutory and locally listed buildings. Part 9 of the policy goes on to state that proposals affecting a Conservation Area must preserve, and where possible, enhance the Conservation Area, paying particular regard to those elements that make a positive contribution to the character of the Conservation Area and its setting, and the special architectural or historic interest of the area. Part 11 of the policy relates to historic parks or gardens and states that development within or affecting the setting of a historic park or garden will be required to avoid subdivision, retain or restore features of historic or architectural interest, including trees, other distinctive planting and hard landscaping, and garden features and where relevant, be accompanied by an appropriate management plan.
- 6.11 As originally submitted, the proposal comprised the erection of a block of apartments containing 10 dwellings and 4 large detached dwellings to the rear. These proposals were considered a cramped overdevelopment of the site which failed to take account of the spatial characteristics of the area and would have been harmful to the character and appearance of the conservation area. Concerns were also raised with regards to the form of the application (outline) and the proposed Design Code which had been submitted in order to guide the future development on the site. Despite concerns raised at pre-application stage to the proposed outline form of the application, the applicants state that the combination of parameter plans, and a detailed design code would provide the Council with sufficient information in which to make a decision.
- 6.12 In light of this, the Council requested revised plans to address the overdevelopment issue and further detailed information in relation to the design of the proposed dwellings and the apartment building. In response, the applicants have submitted revised plans which reduce the number of proposed detached dwellings to three, and also provide further detailed information on the layout, form and height of the proposed dwellings and apartment building.
- 6.13 The Council's Conservation and Heritage Officer has reviewed the revised and is satisfied that the layout of three detached dwellings at the rear of the site is now acceptable and would preserve the character and appearance of the conservation area. However, it is considered that the proposed apartment block would be too large and would be located too close to the historic garden designation on the site. The Council's Conservation officer considers that the ridge height and the span of the apartment block roof would be too wide and too high. It is considered that the roof pitch would be too steep and that the illustrative form of the apartment block would not be satisfactory in terms of its staggered disjointed central break in the roof line and the lack of chimneys (contradicting the design code).
- 6.14 In light of these comments, it is considered that the proposed apartment block would be an overdevelopment of the site which would be harmful to the

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character and appearance of the conservation area, and to the nearby historic garden, thereby contrary to DMP Policies DES1 and NHE9.

Neighbour amenity

- 6.15 The nearest existing residential properties to the site are located immediately to the north, west and north-east of the site. To the west of the site, no. 8, Greenways and Dormy Cottage lie immediately adjacent to the site whilst nos. 15, 17 and 19, Greenways lie close to the site with the highway immediately adjoining the site boundary. To the north of the site no. 26 Greenways adjoins the site, whilst to the north-east no 3, Nursery Close and Tarana Cottage. The south-eastern boundary includes the access road and a hedge to the western side of the access. The main impact on the amenities of neighbouring properties would arise from the proximity and design of the proposed dwelling and apartment building. At this stage, detailed designs have not been provided so it is not possible to judge the full impact of the proposals on neighbouring amenity.
- 6.16 Nevertheless, the illustrative plans show that the existing tall boundary hedge to the rear which surrounds the existing car park would be retained and that the proposed dwellings at the rear would be located away from the boundaries. There would be reasonable separation to the site boundaries and with careful design at detailed stage, it is considered that a scheme could be brought forward which would be respectful of the amenities of neighbouring residents, in terms of their privacy and amenity.
- 6.17 Similarly, the proposed block of apartments would be centrally located on the eastern portion of the site with good separation to site boundaries. As a result, and subject to careful detailed design of room layouts and window positions it is not considered that harm would be caused to the amenities of the residents of those properties closest to this part of the site.
- 6.18 Representations have been received regarding noise and disturbance, wildlife, flooding, structural concerns and inconvenience during the construction period. The proposed residential development is not considered to result in an unsatisfactory level of disturbance. The site is not situated within a flood zone, and structural issues would be addressed at building control stage. The proposal is considered to cause no undue harm to wildlife and whilst there may be a degree of inconvenience and disturbance during the construction phase, the proposal would not warrant refusal on this basis and statutory nuisance legislation exists to control any significant levels of disturbance.
- 6.19 The existence of a covenant on the site, the loss of a private view and the loss of value in a property are not material planning considerations.
- 6.20 Overall, whilst giving rise to a degree of change in the relationship between buildings, the proposed development would not adversely affect the amenities

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of neighbouring properties, and therefore complies with policy DES1 in this respect

Highway matters

- 6.21 It is proposed that the existing vehicular access from Deans Lane would be used for the proposed residential development. The Transport Statement which accompanies the application notes that this would be 5.5m in width which would allow two vehicles to pass each other. It is stated that visibility from the access is in excess of 2.4 metres by 90 metres requirements included within the Design Manual for Roads and Bridges for accesses on to roads with a 30 miles per hour speed limit. The existing access road off Deans Lane is proposed to be maintained and the access junction is of sufficient width to enable vehicles to pass one another. The design of the internal road is in accordance with Surrey County Council (SCC) requirements, the recently updated RBBC Development Management Plan (adopted September 2019) and the guidance included within the Department for Transport's Manual for Streets. Therefore, the existing access road is compatible with the current standards and size for refuse vehicles, emergency vehicles and servicing vehicles.
- 6.22 In their original consultation response, the County Highway Authority noted that the development is located within an area with an accessibility scale of 2. This means that the proposed development is likely to be accessible by car. The nearest public transport is over 500 metres away via a network of paths that are unlit. The nearest areas of a choice of employment, education, leisure and retail land uses are not accessible by walking and cycling due to a lack of well-lit walking and cycling routes to these uses and to public transport. The aforementioned means that the site is only accessible by the private car. The applicant is proposing 23 parking spaces instead of the 33 that the applicant should be providing for the location of the site, according to Reigate and Banstead Parking Standards as shown in the Reigate and Banstead Local Plan Development Management Plan September 2019.
- 6.23 The County Highway Authority raised concerns that the location of the site may lead to parking on the highway where no such parking is taking place. The applicant's report for the existing golf club car parking states that it is all contained within the site. The applicants were requested to provide a drawing showing up to 33 parking spaces.
- 6.24 In response, the applicants have submitted revised plans which show a total of 31 car parking spaces on the site, including 10 covered spaces for the apartments, as well as open parking for the apartments and private parking for the proposed dwellings. The amount of parking now proposed would accord with the Reigate and Banstead Parking Standards.
- 6.25 Any further comments from Surrey Highways will be reported verbally at the meeting.

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Affordable Housing

- 6.26 The Council adopted the Reigate and Banstead Development Management Plan 2019 in September this year. DMP Policy DES6 relates to affordable housing and supersedes Core Strategy Policy CS15.
- 6.27 The policy states that the Council will negotiate affordable housing provision and contributions taking into account the specifics of the site, including financial viability. The policy states that on developments providing 11 or more homes, 30% of the homes on the site should be affordable housing
- 6.28 The application was submitted prior to the adoption of the DMP and in their submission, the applicants confirm that they would make a financial contribution towards affordable housing amounting to 20% of the number of units. However, following the adoption of the DMP, it has not been confirmed by the applicants that the proposals would comply with the new policy, nor has a suitable legal mechanism been agreed with the Council to ensure delivery of the affordable housing. In the absence of an appropriate legal agreement, it is considered that the proposals fail to accord with DMP Policy DES6.

Bio-diversity

- 6.29 The application was accompanied by an ecology report which confirms that the site of the existing clubhouse is of low ecological value, comprising buildings and hard standings. The existing clubhouse supports a single low status bat roost which will be lost to facilitate the scheme. However, this roost is of low conservation value and there is a high degree of certainty that its loss would be successfully licenced and mitigated, and the favourable conservation status of the bat population maintained.
- 6.30 The report put forward a number of mitigation measures which, in the event that planning permission was to be granted, would be subject to condition.

Trees

- 6.31 As the site comprises hardstanding the proposed layout is unlikely to have a significant impact upon the existing hedges around the boundary, but it will be necessary to have the relevant arboricultural information such as tree protection plan to ensure the existing hedges and protected trees is incorporated into the final layout. The proposed outline layout identifies areas where a landscape scheme can be implemented which overtime will benefit the local landscape. A suitably worded condition to secure information such as species, implementation and management strategy will be required. The finalised layout must ensure there is sufficient space between the buildings and existing/proposed hedges to allow them to mature and be maintained.

Drainage/Flooding

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- 6.32 The site is not in an area at risk of flooding and falls within Flood Zone 1 according to the Environment Agency flood mapping. No information has been submitted with regards to drainage on the site. Further information was requested by the Surrey CC Drainage Team which was not forthcoming from the applicants. However, in the event that planning permission was to be granted, it is considered that suitably worded conditions could be imposed to ensure that a SuDS Scheme is properly implemented and maintained throughout the lifetime of the development.

Community Infrastructure Levy (CIL)

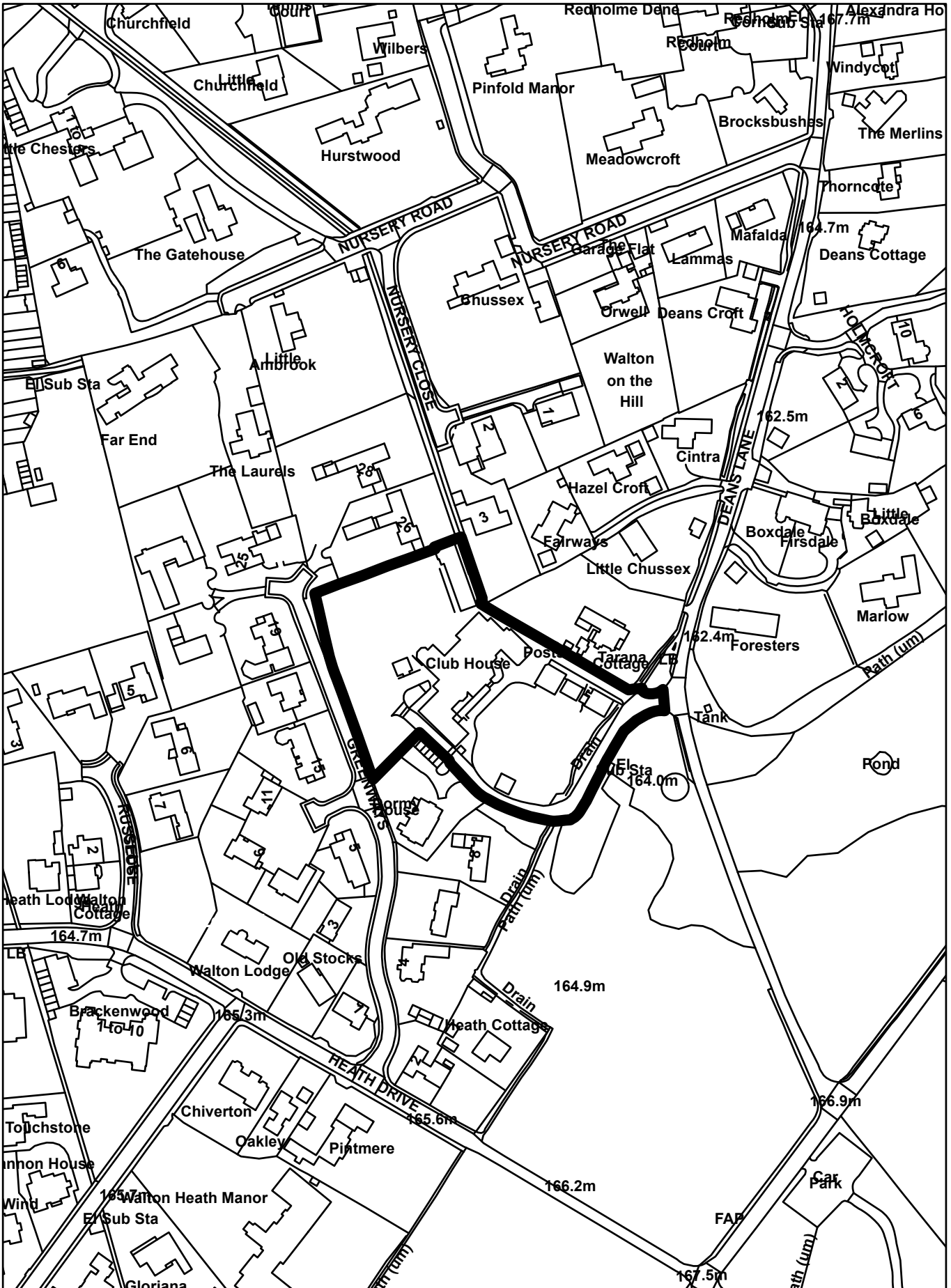
- 6.33 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, road, public transport and community facilities which are needed to support new development. This development would be CIL liable and, although the exact amount would be determined and collected after any grant of planning permission.

Positive and Proactive Statement

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and whilst planning permission been refused regard has been had to the presumption to approve sustainable development where possible, as set out within the National Planning Policy Framework.

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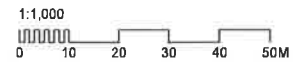
19/01514/OUT - Walton Heath Golf Club, Deans Lane, Walton On The Hill





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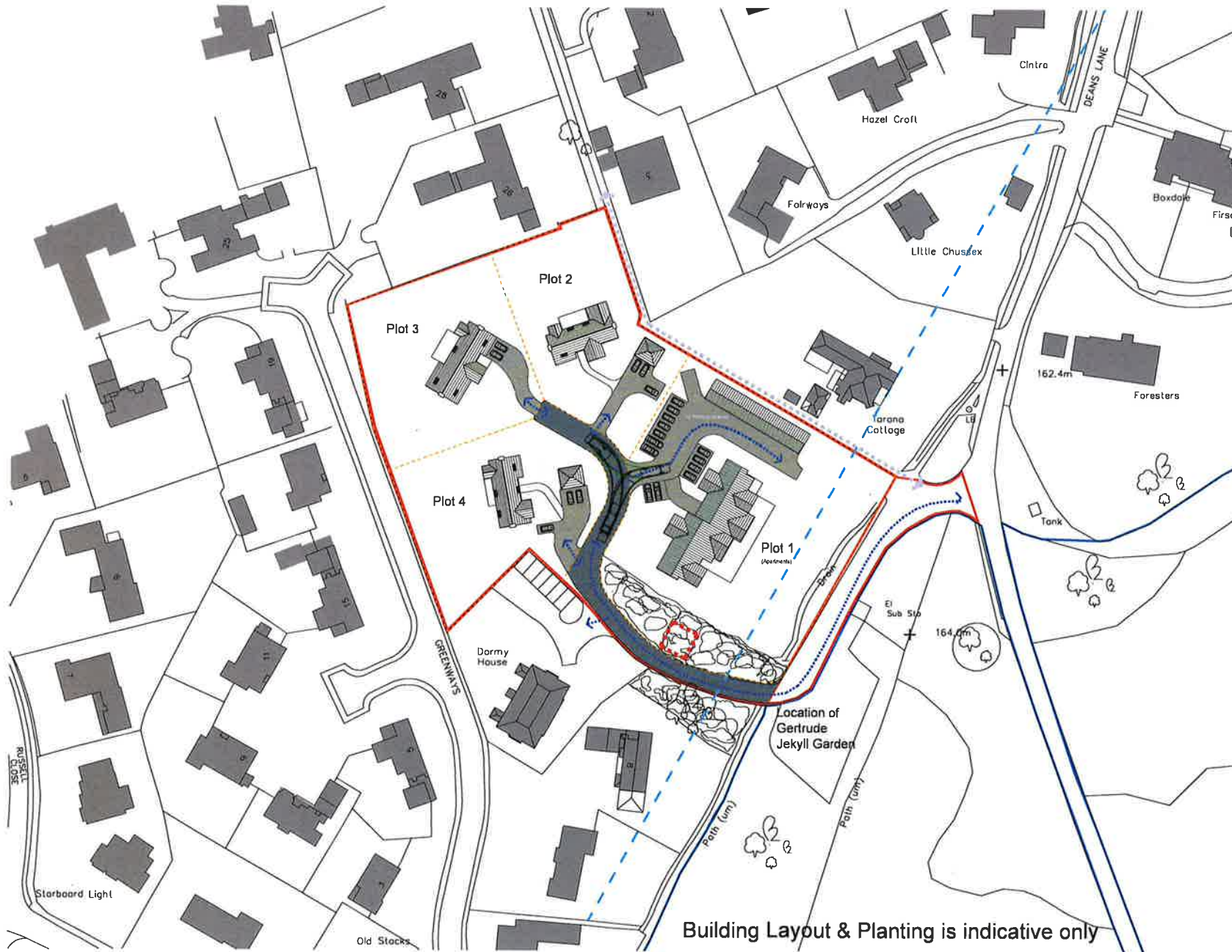
Revisions	
P1	27.09.19 TT FIRST ISSUE
P2	11.12.19 TT Revised Layout



Drawing Proposed Outline Layout	Date Sep-19
Project/Client WHGC Redevelopment of Ex Clubhouse Site Walton Heath Golf Club	Scale @ A3 1:1000
Job Reference 02036 150	Revision P2
Issue Number 150	Purpose of Issue Approval



HMY
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 TN11 1YF t: 01692 515311 f: 01692 515285



- Key**
- Main Access Road
 - Private Drives
 - Vehicular Access
 - Pedestrian Access

Building Layout & Planting is indicative only

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Revisions	
P1 27.09.19	TT FIRST ISSUE
P2 15.11.18	TT Revised Layout
P3 02.12.19	TT Revised Layout
P4 04.12.19	TT Revised Layout
P5 11.12.19	TT Revised Layout



Drawing Parameter Plan Access		Date Sep-19
Project Client WHGC Redevelopment of Ex Clubhouse Site Walton Heath Golf Club		Scale @ A3 1:1000
WH reference: 02036	1 Drawing number: 153	Approval P5




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22nd January 2020

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19/00875/S73

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	22 January 2020
	REPORT OF:	HEAD OF PLACES & PLANNING
	AUTHOR:	Lesley Westphal
	TELEPHONE:	01737 276626
	EMAIL:	Lesley.westphal@reigate-banstead.gov.uk
AGENDA ITEM:	7	WARD: Reigate

APPLICATION NUMBER:	19/00875/S73	VALID:	22.05.2019
APPLICANT:	Reigate College	AGENT:	n/a
LOCATION:	REIGATE COLLEGE, CASTLEFIELD ROAD, REIGATE, SURREY RH2 0SD		
DESCRIPTION:	Construction of new 2 – storey business teaching block, part demolition of existing Holmesdale building with new pitched roof to retained part. Variation of condition 8 of permission 03/00711/F which states: No more than 1200 students are permitted on site at any one time.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred following the deferral from the 27th November Committee Meeting, to secure additional information.

SUMMARY

This application proposes the variation of condition 8 attached to a 2003 planning application for extension works to the College, which imposed a limit of 1200 pupils being on the site at any time. In reality it appears possible that more than 1200 pupils may already, on occasion, be on the site and that as a result of changes to the courses on offer, the way in which students' study and student numbers that this number could be exceeded in the future and this application seeks to address this fact. The application originally proposed the removal of the condition, but it has been agreed with the applicant that a new condition be imposed with a limit of 1900 pupils – calculated to be sufficient to accommodate anticipated student numbers resulting from curriculum and student number changes.

The condition was imposed to protect designated urban open land within the College site, although this issue is now addressed by Policy OSR1 of the recently adopted Development Management Plan (2019).

Additional students attending the College could result in additional impacts upon the surrounding residents, local highways network and character of the area and these concerns have been assessed against the provisions of the Development Plan. The

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College is on the edge of the Town Centre and in close proximity to the Station. It is not considered that the impacts of additional students using the site would be so significant as to cause harm to the character of the town or resident's amenities.

Impacts upon the local road network are of great concern to local residents with concerns about highways safety and the lack of on street parking/poor on street parking being expressed. The County Highway Authority initially raised concerns about additional students on site but have now agreed a Travel Plan. It is considered the Plan would comply with the County Highways Travel Plan Guidance and would sufficiently mitigate impacts as to now raise no objection on highways grounds.

The area surrounding the site includes a variety of characters and includes part of two Conservation Areas. The scheme is not considered to adversely affect the towns historic environment with no objection raised by the Councils Conservation officer.

It is considered that sufficient policy safeguards exist to protect the designated urban open land within the site from unacceptable development proposals.

During the November Committee meeting Members requested additional information which is detailed below:

Why the College cannot identify everyone who is on site: Although there are two vehicular access into the site, there is no single access point to the buildings within the site such as to allow those across the whole campus to be identified. The College encompasses a number of buildings with several entrances/exits. The only numbers that the College can confirm are those in classes, but students in the refectory, Independent Learning Centres, external social areas or various other areas where music or performing arts rehearsals may be taking place cannot be individually identified.

The College PAN (Pupil Admission Number) was requested. The College advise that this is not applicable to 6th form colleges. However, they confirm that their current student number is 2503 students.

A number of questions were asked about the Travel Plan and a copy is appended to the committee report. Clarification was requested regarding the drop sought at the end of year 1 of the number of students driving from 20%-12% and how those students no longer driving would get to college. The plan indicates the anticipated increases in other methods of transport – with the biggest increase being in those students using the bus, but including getting a lift, using the train, walking, motor cycle, bicycle, etc. The students shown to be receiving a lift includes both those who are given a lift by fellow students and those who are given a lift by someone who drops them off and then leaves. So in the case of the change between the existing situation and the year 1 target this would result in an additional 0.5% students receiving a lift.

It was suggested that the catchment area be reduced: Priority is given to students who apply from the College's partner schools, Reigate School, The Warwick School

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in Redhill, De Stafford School in Caterham and Oakwood School in Horley as long as they meet the entry criteria. Thereafter, siblings of existing or previous students are given priority but after that, because this is an open, competitive market, the College can select from the best qualified applicants from anywhere else. Post 16 education is an open market, and it is ultimately a matter for the College to determine its own numbers. However officers would advise the Committee that the County Education Authority is supportive of this application because the College provides a good quality education and the County relies upon the number of students that can attend the College to help satisfy its 6th form education provision.

Concern was expressed regarding the impacts of the current situation upon students with physical impairments in the event of an emergency. We are advised that personal evacuation plans are made as and when the College has students who are in need of this service.

Regarding concerns about the general evacuation of the college in the event of an emergency, designated Fire Marshalls ensure that areas where no staff are present are evacuated.

Any additional information of assistance that arises at the Members site visit will be reported on the Addendum Report.

No objections have been raised by any of the consultees and overall it is considered that the amended wording of the condition to restrict the number of students to 1900 students would be acceptable and that the scheme would not have a harmful impact upon the character and amenities of the area.


RECOMMENDATION(S)

Planning permission is **GRANTED** subject to conditions.

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19/00875/S73

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	22 January 2020
	REPORT OF:	HEAD OF PLACES & PLANNING
	AUTHOR:	Lesley Westphal
	TELEPHONE:	01737 276626
	EMAIL:	Lesley.westphal@reigate-banstead.gov.uk
AGENDA ITEM:		WARD: Reigate

APPLICATION NUMBER:	19/00875/S73	VALID:	22.05.2019
APPLICANT:	Reigate College	AGENT:	n/a
LOCATION:	REIGATE COLLEGE, CASTLEFIELD ROAD, REIGATE, SURREY RH2 0SD		
DESCRIPTION:	Construction of new 2 – storey business teaching block, part demolition of existing Holmesdale building with new pitched roof to retained part. Variation of condition 8 of permission 03/00711/F which states: No more than 1200 students are permitted on site at any one time.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is returned to Committee following its deferral on 27 November and the members site visit earlier this month.

SUMMARY

This application proposes the variation of condition 8 attached to a 2003 planning application for extension works to the College, which imposed a limit of 1200 pupils being on the site at any time. In reality it appears that more than 1200 pupils are already, on occasion, on the site and this application seeks to regularise this fact. The application originally proposed the removal of the condition, but it has been agreed with the applicant that a new condition be imposed with a limit of 1900 pupils – calculated to be sufficient to accommodate anticipated student numbers resulting from curriculum and student number changes.

The condition was imposed to protect designated urban open land within the College site, although this issue is now addressed by Policy OSR1 of the recently adopted Development Management Plan (2019).

Additional students attending the College could result in additional impacts upon the surrounding residents, local highways network and character of the area and these concerns have been assessed against the provisions of the Development Plan. The College is on the edge of the Town Centre and in close proximity to the Station. It is

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not considered that the impacts of additional students using the site would be so significant as to cause harm to the character of the town or resident's amenities.

Impacts upon the local road network are of great concern to local residents with concerns about highways safety and the lack of on street parking/poor on street parking being expressed. The County Highway Authority initially raised concerns about additional students on site but have now agreed a Travel Plan attached at Appendix A). It is considered the Plan would comply with the County Highways Travel Plan Guidance and would sufficiently mitigate impacts as to now raise no objection on highways grounds.

The area surrounding the site includes a variety of characters and includes part of two Conservation Areas. The scheme is not considered to adversely affect the towns historic environment with no objection raised by the Councils Conservation officer.

It is considered that sufficient policy safeguards exist to protect the designated urban open land within the site from unacceptable development proposals.

No objections have been raised by any of the consultees and overall it is considered that the amended wording of the condition to restrict the number of students to 1900 students would be acceptable and that the scheme would not have a harmful impact upon the character and amenities of the area.

RECOMMENDATION(S)

Planning permission is **GRANTED** subject to conditions.

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Consultations:

Highway Authority:

Confirm that the scheme would result in more students on site but following the submission of a revised and acceptable Travel Plan no objection is raised.

County Education Authority:

Advise verbally that although the College receives no funding from the Authority that it is a successful College, offering courses that respond to student demand/need and that this application is supported. The Education Authority is under obligation to ensure sufficient places for sixth form students across its area and the College forms part of that provision.

Heritage Conservation Group: Archaeology: No objections

Representations:

Letters were sent to neighbouring properties on 24th May 2019, a site notice was posted 17th June 2019 and advertised in local press on 29th May 2019.

15 responses have been received raising the following issues:

Issue	Response
Hazard to Highway Safety	See paragraphs 6.11- 6.17
Inadequate Parking	See paragraphs 6.11 – 6.17
Increase in traffic and congestion	See paragraphs 6.11 – 6.17
Overbearing Relationship	See paragraph 6.19
Overdevelopment	See paragraph 6.19
Impact Upon Local Amenities	See paragraph 6.6 - 6.10

1.0 Site and Character Appraisal

1.1 The site comprises the Reigate College campus, situated within the built confines of Reigate and part of which is within the Reigate Town Centre and Chart Lane Conservation Areas. The building works to which this application relate have been implemented.

1.2 The College is sited between Castlefield Road and Rushworth Road with vehicular access into the site from both roads. The main car park lies to the rear of the College and is accessed via Rushworth Road. The campus lies in close proximity to both residential uses (predominantly to the north and east of the College) and commercial uses (predominantly to the east and south of

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the College.) The site lies outside but on the edge of the identified Reigate Town Centre.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: The applicant did not approach the Local Planning Authority, therefore no improvements could be secured at the pre-application stage.
- 2.2 Improvements secured during the course of the application: The applicant has agreed to the imposition of a new condition restricting the number of pupils permitted on site at any one time and a policy compliant Travel Plan has been secured.

3.0 Relevant Planning and Enforcement History

- | | | | |
|-----|--------------|---|-----------------------|
| 3.1 | 00/09540/OUT | Construction of new two storey teaching block | Granted
6.12.2000 |
| 3.2 | 01/01939/F | Erection of two storey teaching facility | 10.10.2001 |
| 3.3 | 02/01325/F | Construction of 2 storey building, 1 st floor extension on to Holmesdale block and new roof for existing Rushworth building. | Refused
4.12.2002 |
| 3.4 | 03/00711/F | Construction of new 2 storey building, 1st floor extension to existing Holmesdale block + new roof for existing Rushworth building. | Approved
21.5.2003 |
| 3.5 | 05/02713/F | Single storey annexe to refectory | Approved
3.3.06 |
| 3.5 | 12/00416/F | A new three storey building providing student support facilities, additional teaching spaces with associated office, private study, toilet and plant areas. | Refused
25.5.12 |
| 3.6 | 13/00477/F | Single storey extension to refectory | Approved
14.5.13 |

4.0 Proposal

- 4.1.1 This is a full application seeking to vary the terms of Condition 8 attached to planning application reference 03/00711/F for the Construction of new 2

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storey building, 1st floor extension to existing Holmesdale block and a new roof for the existing Rushworth building.

4.2 Condition 8 stated that:

The number of pupils attending the college at any one time shall not exceed 1,200 without the prior written approval of the Local Planning Authority.

Reason:

To control the future development of the site in the interests of safeguarding the Urban Open Land.

4.3 The applicant advises that the College can no longer comply with this condition for the following reasons:

4.4 *“Since the condition was imposed although the College has had more than 1200 students on roll, we have been able to ensure we could comply with the condition of not having more than 1200 on site at any one time by the way the timetable was constructed.*

4.5 *However, a combination of factors is now making this impossible. The College is funded according to how many students are on the roll and whilst funding has reduced, performance levels are expected to be maintained.*

4.6 *The College finances would show an end of year deficit if student numbers were maintained or even reduced in order to comply with this condition since resources, salary levels and utilities etc. continue to increase. The College cannot allow this to happen so more students are enrolled in order to make up some of the shortfall in income.*

4.7 *Additionally, changes in the way many courses are now taught, i.e. many BTEC courses being introduced, results in a lot more practical and coursework being undertaken meaning that there has to be more contact time between lecturers and students. The knock on effect is that students will be on site more often since they need to spend a lot more time working independently meaning they will spend a lot more time in our Independent Learning Centres on PC's when not in lessons. This increases the number of students on site.*

4.8 *The unreliability and reduction in services of many public transport routes means students tend to either travel in earlier than their lessons start or have to stay beyond their last lesson, and this increases the numbers on site at any one time.*

4.9 *Reigate College is rated as Outstanding by Ofsted and is regularly rated in the top 5 Sixth Form Colleges in the country based on performance and exam, meaning it is in great demand each year.*

4.10 *This planning condition severely restricts the College's ability to remain financially viable and successful and if it is not removed the College will lose its Outstanding Ofsted rating as the finances would be showing as in deficit*

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and this would eventually lead to the College being taken into what is known as 'special measures' by the funding body which in turn would lead to the complete demise of Reigate College.

4.11 *The variation of the condition will allow the College to continue to thrive as much as possible in the current financial climate”.*

4.12 Concern has been expressed by residents at the College’s inability to precisely monitor the number of students on the campus at any one time and the following information has been submitted which clarifies this issue:

“If we are thought of us as a school, we would have every pupil in a lesson for which a register would be taken, and each pupil would be in lessons for the whole day so exact numbers would be easy to determine.

However, as a college, that is an impossible task. We do carry out a registration process for each lesson, so we know exactly how many students are in those but, the nature of a college campus is such that students are not in lessons all day every day. There is a lot of time when they are carrying out independent study in one of our Independent Learning Centres or they may be in one of our Refectories getting something to eat, sitting at one of the external social areas, using a vacant music booth rehearsing, using the College gym etc. etc.

Furthermore, again unlike school pupils, they are able to leave then re-enter the site so there is constant pedestrian traffic in and out of our gates on both the Rushworth and Castlefield sides of the site.

All this means it is absolutely impossible for us to say exactly how many are on site at any one time. We can estimate it based on a number of factors such as the number of students on roll, the timetable, day of the week and time of day but it would never be an exact”

4.13 The revised Travel Plan identifies the following modes of travel to college by students and a full copy of the Travel Plan agreed by the County Highways Authority is attached at Appendix A.

Current modes of travel	Year 1 targets
Car (alone) 20%	12%
Bus 34%	37%
Train 25%	26%
Lift 9.5%	10%
Walk 9.5%	11%
Motor Cycle 1%	2%
Bicycle 1%	2%

4.14 The Travel Plan has identified its starting point in terms of means of travel of staff and students and then sets the first years’ targets. Thereafter the progress will be monitored with surveys completed twice per year to monitor any travel changes and based upon those results targets will be set for

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successive years. The results of the monitoring will be sent to both this Council and to the County Highways Authority. The Travel Plan will apply to staff as well as students. If targets are not met by Year 5 of the Travel Plan, then monitoring will continue to year 9.

5.0 Policy Context

5.1 Designation

Urban area
Urban Open Space
Partly within the Chart Lane and Reigate Town Centre Conservation Areas
Locally Listed Buildings
Are of High Archaeological Potential
Group and individual Tree Preservation Orders

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS4 (Valued Townscapes and Historic Environment)
CS7 (Town/Local Centres),
CS10 (Sustainable Development),

5.3 Reigate and Banstead Local Plan: Development Management Plan

OSR1 (Urban OpenSpace)
DES1 (Design of New Development)
TAP1 (Access, parking and servicing)
INF2 (Community facilities)

5.4 Other Material Considerations

National Planning Policy Framework
National Planning Practice Guidance
Supplementary Planning Guidance A Parking Strategy for Surrey
Parking Standards for Development

Other Human Rights Act 1998
Community Infrastructure Levy
Regulations 2010

6.0 Assessment

6.1 The main issues to consider are:

- Principle of variation to the condition

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- Neighbour amenity
- Access and parking
- Impact upon character of the area

Principle of variation to the condition

- 6.2 The reason for the use of Condition 8 was “To control the future development of the site in the interests of safeguarding the Urban Open Land”. The concerns regarding the number of students was therefore related to the impacts upon open land and the character of the area rather than an ‘in principle’ objection to a particular number of students being on site. This would appear to have been a concern that further student numbers would be likely to rely upon further building works within the site, that would erode the sense of space around the college with a consequent adverse impact upon the character of the surrounding area.
- 6.3 Part of the College campus is designated as Urban Open Space, (that part of the site that lies above the caves at the front of the site adjacent to Castlefield Road). In view of the sensitivity of that part of the site in terms of proximity to locally listed buildings, the Chart Lane Conservation Area and the caves, this area of land is not considered to be at threat of loss or depletion as a result of unacceptable forms of development: sufficient policy protection being in place to protect this space.
- 6.4 The other main area of open green space (undesignated) lies at the rear of the College adjacent to Rushworth Road. Should an application be submitted for further development on this land it would be subject to consideration in the same way as any other unprotected area of open space with the built confines of the town.
- 6.5 Whilst there is clearly a link between the number of students on site and the number and scale of buildings required to accommodate them, existing protections and designations around the site offer sufficient protection to enable the refusal of any scheme considered harmful to the character of the environment. It is considered that the loss or variation of this Condition would not render the site susceptible to otherwise unacceptable levels or forms of development and that subject to consideration of the issues identified below, that its removal or variation is not therefore, in principle, unacceptable.

Neighbour Amenity

- 6.6 Development Management Policy DES1 expects all new development to provide an appropriate environment for future occupants whilst not adversely impacting upon the amenity of occupants of existing nearby buildings, including by way or overbearing, obtrusiveness, overshadowing, overlooking and loss of privacy.
- 6.7 In terms of the impacts upon the amenities of nearby residents, the variation of condition proposed would not cause any of these identified impacts. However, it is clear from residents’ letters that the College does nevertheless

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have an impact upon the way in which residents experience their local environment resulting from the number of students in the area and the number of cars seeking to move around and park in the local area. Objections have been received relating to concerns about litter being dropped, crime fears, health fears (presumably from pollution) and the level of cars seeking to park (sometimes badly) in the roads close to the College.

- 6.8 Apart from concerns about parking and access other concerns raised by residents relate to the volume of students using the town during the day, the difficulties this can bring when they walk/congregate in large groups, increased litter, crime fears and generally more noise and disturbance arising from a large volume of people using the area.
- 6.9 The College lies on the edge of the Town Centre and close to the station where levels of activity are generally higher. Certainly, students' use of the town centre does make the town centre busy particularly at lunchtime, but also brings additional trade to the town and many of its businesses and this has to form part of the overall assessment of impacts of this application.
- 6.10 Concerns about increased crime and litter are not a matter for this application, rather a matter for the Police and the College regarding education about dropping litter within the town. In view of the location of the College on the edge of the busy town centre and the number of students already using the area, in combination with economic benefits for the town, it is not considered that the impacts of the additional students using the town centre and surrounding areas would be so severe as to justify a reason for refusal on the basis of harm to neighbouring amenity.

Access and Parking

- 6.11 Development Management Plan Policy TAP1 requires all types of development to provide safe and convenient access for all road users taking account of cumulative impacts, which would not unnecessarily impede the free flow of traffic, or compromise pedestrians or other transport modes. Traffic resulting from a development must not materially impede traffic congestion on the highway network or increase the risk of accidents.
- 6.12 The National Planning Policy Framework at paragraph 109 confirms that "Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe."
- 6.13 The College advise that the current parking provision on site is as follows:

Staff and visitor parking Spaces	125
Motorcycle parking Spaces	30
Secure, bicycle parking Spaces	40
Disabled parking Spaces	3

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- 6.14 In this instance no works are proposed to the highway nor to provide any parking spaces. Concerns expressed regarding the impacts of the scheme upon the highway network and levels of parking are relevant in respect of more students being drawn to the site and how those impacts may be offset by a Travel Plan.
- 6.15 As a recognition of the impacts that students driving to the college can have and to try to improve the levels of sustainable travel, a Travel Plan has been formulated in conjunction with advice from the County Highways Authority to try to address the number of students driving to college. The College already seeks to discourage students driving to college and the vast majority of students use public transport to get to the college. However, it is proposed that the following measures will be adopted, in addition to those already undertaken, to seek to increase the use of public transport:
- Incorporate the travel plan initiative into the tutorial programme (1 session per week) when students discuss college procedures, rules, etc.
 - produce and post posters around the campus drawing attention to the travel plan and sustainable travel options
 - emphasise the need for student's car details to be provided to the college, in the event that any concerns arise about badly parked cars for instance the students can be traced, and the problems resolved quickly and with minimum fuss
 - encourage those children that can, to share travel with buses serving local schools
 - provide literature at college open evenings providing details of sustainable travel options and the travel plan
 - continue to attend the local residents' meetings on a regular basis to discuss any problems arising resulting from the college's impacts.
- 6.16 The County Highways Authority acknowledge a greater number of students being drawn to the site, but do not express concern about either highway safety issues nor the requirement for more parking. The College has addressed the potential demand for more parking through the Travel Plan and the impacts such a Plan could have upon the number of cars drawn to the site. A Travel Plan has been agreed and no objections relating to the impact upon the Highways network have therefore been raised.
- 6.17 It is not considered that sufficient evidence exists to demonstrate that the impacts of the proposed variation of condition would result in an unacceptable impact on highway safety, nor that the residual cumulative impacts on the road network would be severe and the application is therefore considered acceptable in this respect.

Impact upon the Character of the Area

- 6.18 The character of the wider area is a combination of the commercial area close to the College, the residential areas and historic environment. Development Management Plan Policy DES1 seeks to ensure that new development respects the character of the surrounding area whilst Policy

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NHE9 references the preservation and where possible enhancement of the historic environment including the areas character.

- 6.19 Some concerns have been raised by residents regarding the impacts of the buildings which formed part of the original application – however those structures have already been built and the objections raised are not relevant to this application
- 6.20 In this instance the effect of the application would be additional numbers of students in and around the site and wider town centre. It is likely that the 1200 pupil number previously identified is already exceeded on occasions – hence the reason for this application. The students travel to the college in a number of different ways from areas all around the town and can get into the College site from two separate directions. Their effects on the town are therefore spread geographically around the town and not just the College site. The site lies on a busy edge of Town Centre site and as student numbers have increased slowly and steadily the town has adapted and its character gradually changed to accommodate increased numbers at the College. It is not consequently considered that it would be possible to identify a noticeable difference in character resulting from additional students, (sometimes potentially already on site) such as to make this scheme unacceptable.
- 6.21 The Councils Conservation Officer has considered this application from a Conservation viewpoint and has no objection.
- 6.22 It is not considered that the impacts of additional student numbers would be significantly harmful to the character of this already busy site and area within the town.

CONDITIONS

1. The number of pupils attending the college at any one time shall not exceed 1,900 without the prior written approval of the Local Planning Authority.

Reason:

To protect the character and amenities of the area in accordance with the provision of Policy DES1 of the Reigate and Banstead Development Management Plan (2019) and the provisions of the National Planning Policy Framework (2019).

2. The approved Travel Plan dated August 2019 shall be implemented in accordance with the phasing details, unless otherwise agreed in writing with the Local Planning Authority in discussion with the County Highways Authority.

Reason: To promote a sustainable means of travel to the site and minimise adverse impacts upon the surrounding area in accordance with the provision of Policy DES1 and TAP1 of the Reigate and Banstead Development

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Management Plan 2019 and the provisions of the National Planning Policy Framework 2019.

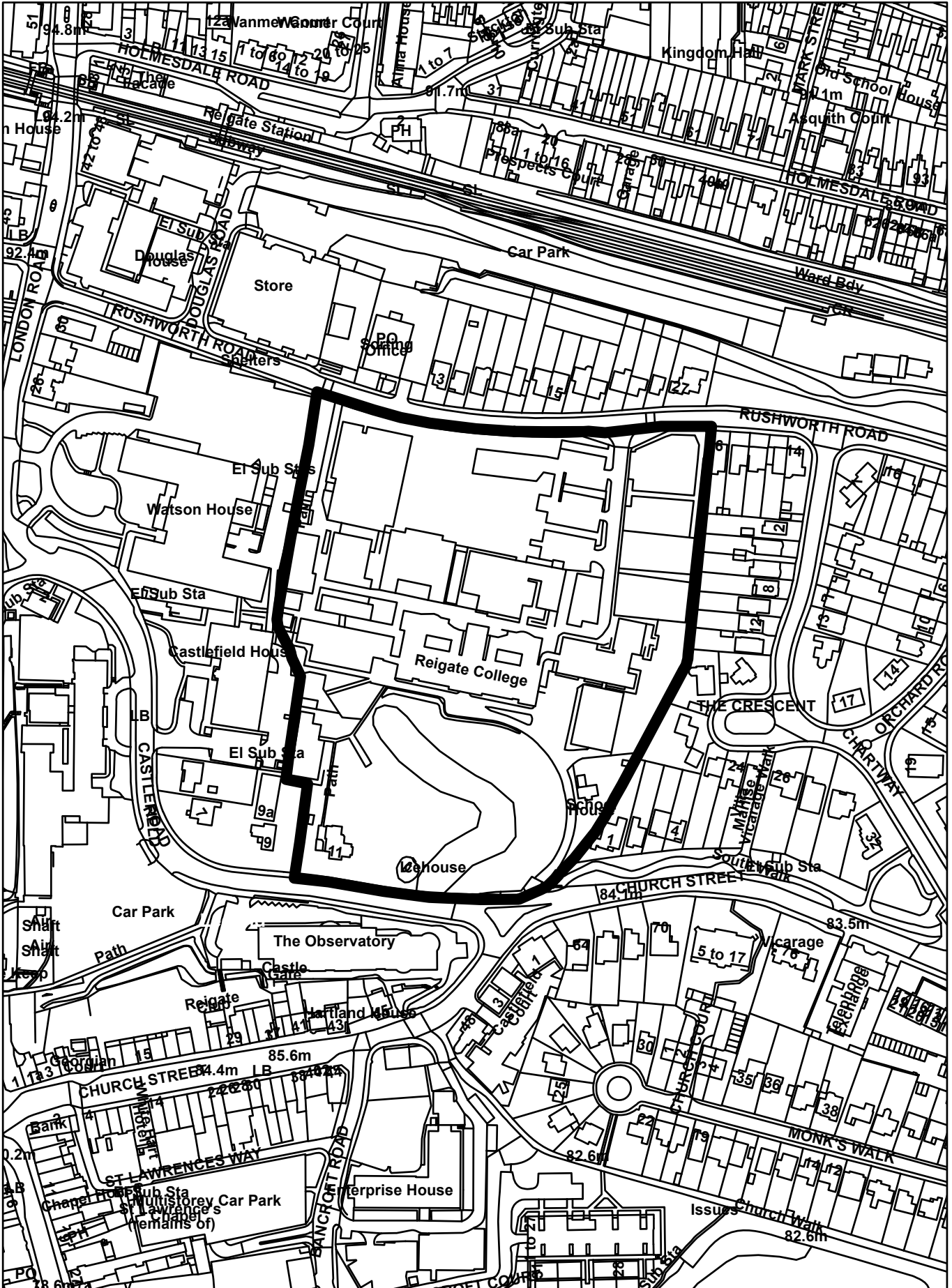
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies DES1, TAP1, OSR1, INF2, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statements

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

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Travel Plan – August 2019

**Produced by: Garry Holmes
Director of Estates and IT**

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1. Reigate College

Reigate College provides sixth form education for students between the age of 16 to 19, the approximate number of students on the roll is 2350.

Because of the nature of the courses offered by the college, mostly one or two years for GCSE, BTEC, AS and A Level, around 50% of the student body changes once a year in September therefore, the travel patterns also change considerably. Furthermore, the College employs approximately 226 full and part time staff.

The College is situated in the centre of Reigate just several minutes walk, to the south, from the High Street which contains the main shopping area of the town. The other three sides of the site are made up of, mainly, residential roads, some of which have restricted parking regulations, but others, which have none. The railway station is only a two to three minute walk from the site and there are various bus services in the vicinity.

The on site parking facilities are as follows:

Staff and visitor parking Spaces	125
Motorcycle parking Spaces	30
Secure, bicycle parking Spaces	40
Disabled parking Spaces	3

For the most part both the car and motorcycle parking are quite heavily used, but the bicycle parking is rarely more than 25% full.

2. Current modes of travel and targets

Staff

The College currently employs 226 staff, a survey carried out in June 2019 received 201 responses as some staff were off sick, on leave or on College trips and has yielded the following results:

112 say they regularly drive to College and 19 confirmed they regularly car share.
14 come by bus
51 use the train
6 use a bicycle
0 travel via motor cycle
18 walk

The above figures provide the following percentages for staff's existing modes of travel, along with associated targets for year 1:

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Current modes of travel	Year 1 targets
Car (alone) 43%	40%
Bus 7%	8%
Train 25%	28%
Lift 9%	10%
Walk 9%	10%
Bicycle 3%	4%

Students

In a survey carried out in February 2019, the following students provided their travel methods:

Postcode	Student No's.	Drive	Bus	Train	Lift	Walk	Motorbike	Cycle	
RH1	438	52	162	79	67	62	8	8	
RH2	219	39	3	0	47	122	2	6	
RH3	24	18	0	0	0	2	0	4	
RH4	15	8	5	0	0	0	0	2	
RH5	15	8	5	1	0	0	0	1	
RH6	369	78	157	105	18	0	9	2	
RH7	7	4	0	0	3	0	0	0	
RH8	3	1	0	2	0	0	0	0	
RH9	44	22	9	0	12	0	1	0	
RH10	27	12	3	12	0	0	0	0	
RH11	3	1	1	0	0	0	1	0	
RH12	1	1	0	0	0	0	0	0	
RH14	1	1	0	0	0	0	0	0	
RH16	1	1	0	0	0	0	0	0	
RH19	19	9	0	9	1	0	0	0	
RH20	1	1	0	0	0	0	0	0	
BN11	1	1	0	0	0	0	0	0	
BN2	1	1	0	0	0	0	0	0	
CR0	75	9	2	62	2	0	0	0	
CR2	59	7	8	41	3	0	0	0	
CR3	97	17	35	42	3	0	0	0	
CR4	11	8	0	0	3	0	0	0	
CR5	233	37	89	97	7	0	3	0	
CR6	17	7	8	0	2	0	0	0	
CR7	7	1	2	4	0	0	0	0	
CR8	109	12	22	65	9	0	1	0	
CT14	1	1	0	0	0	0	0	0	
E14	1	1	0	0	0	0	0	0	
E50	1	1		0	0	0	0	0	

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EN4	1	0	0	0	1	0	0	0	
GU1	1	0	1	0	0	0	0	0	
GU11	1	0	1	0	0	0	0	0	
GU24	1	0	1	0	0	0	0	0	
KT17	11	1	10	0	0	0	0	0	
KT18	13	2	11	0	0	0	0	0	
KT19	10	2	8	0	0	0	0	0	
KT20	107	12	88	0	4	0	3	0	
KT21	9	2	7	0	0	0	0	0	
KT22	4	1	3	0	0	0	0	0	
KT23	1	1	0	0	0	0	0	0	
KT4	1	1	0	0	0	0	0	0	
ME14	1	1	0	0	0	0	0	0	
ME15	1	1	0	0	0	0	0	0	
ME7	1	1	0	0	0	0	0	0	
MK7	1	0	0	0	0	1	0	0	
NW7	2	0	0	0	0	2	0	0	
PE3	1	0	0	0	0	1	0	0	
PO13	1	0	0	0	0	1	0	0	
PO14	1	0	0	0	0	1	0	0	
SE19	2	0	0	2	0	0	0	0	
SE25	6	0	0	6	0	0	0	0	
SM1	7	3	4	0	0	0	0	0	
SM2	11	2	7	0	2	0	0	0	
SM3	3	1	2	0	0	0	0	0	
SM5	10	4	3	0	3	0	0	0	
SM6	57	17	33	0	7	0	0	0	
SM7	45	12	29	0	4	0	0	0	
SW9	1	1	0	0	0	0	0	0	
SW16	1	0	0	1	0	0	0	0	
SW18	1	0	0	1	0	0	0	0	
SW1A	1	0	0	1	0	0	0	0	
SW20	1	0	0	1	0	0	0	0	
TN8	1	0	1	0	0	0	0	0	
W2	1	0	0	1	0	0	0	0	
W3	1	0	0	1	0	0	0	0	
Total	2118	424	720	533	198	192	28	23	

The above figures provide the following percentages for students' existing modes of travel, along with associated targets for year 1:

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Current modes of travel	Year 1 targets
Car (alone) 20%	12%
Bus 34%	37%
Train 25%	26%
Lift 9.5%	10%
Walk 9.5%	11%
Motor Cycle 1%	2%
Bicycle 1%	2%

3. Current sustainable travel facilities

The College provides the following facilities in order to encourage both staff and students to utilise sustainable travel methods:

- covered bicycle storage racks
- dedicated motor cycle parking area
- lockers adjacent to both the above in order to provide storage space for equipment associated with these modes of travel
- showers

4. Current sustainable travel initiatives

- regular travel bulletins detailing any issues on the roads and railways are distributed via email from the College Reception to all staff and students.
- several members of staff do provide lifts for colleagues on an occasional basis according to workload and timetable differences.
- the College has met with SCC to discuss the impact of proposed cuts to bus services.
- the College provides free coach transport for students to attend local Safe Drive Stay Alive events.
- both bicycle and motorcycle safety course organisers have hired the College car parks at weekends to provide instruction for the above, and these have always been advertised to College students sometimes at a reduced rate to that which has been published.
- in 2019, the College hosted the inaugural Ride Reigate bicycle rally acting as the start and finish line. This enabled us to promote the benefits of cycle riding to both staff and students
- the College chairs a local residents committee which meets several times a year in order to discuss any issues and parking is always a subject that takes up a large part of each meeting.
-

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5. Issues

- complaints are occasionally received from local residents complaining that College students are parked inconsiderately in their road.
- students who drive are asked to provide their vehicle details, so that instances of inconsiderate parking can be addressed quickly. However, the majority of students do not provide this information, which makes it difficult for estates/security staff to address student parking problems.
- students reach the age where they learn how to drive whilst attending the College, and are keen to start driving once they have passed their test.
- although the College does encourage the staff to adhere to the Policy as far as possible by encouraging car share and the Public Transport system, the difficulties of having to take large amounts of work home will always cause difficulties.

6. Proposed measures and action plan

- Travel plan initiatives will be incorporated into the College Tutorial Programme from September 2019. Students attend 1 tutorial period a week when various College procedures, policies, rules, regulations and news are discussed. The College will draw up measures by which the Travel Plan will form part of this tutorial activity.
- Posters will be produced and placed in strategic areas around the campus in order to raise awareness of the need to consider the modes of transport available other than driving in.
- The importance of students providing the College with their vehicle details will be incorporated into the Tutorial Programme in order to explain this is in their own interest since, if they can be located and their vehicle moved quickly, confrontations with residents at the end of the day can be avoided and their vehicle will not be towed away.
- A “car free” week for staff will be implemented, to encourage staff to try alternative means of transport.
- Some students are able to share existing extra services provided by bus companies with pupils from local schools
- Students will continue to attend Safe Drive Stay Alive, the road safety event for this age group, and the College will continue to provide free transport.
- College literature will now contain details of the Travel Plan and how this can be accessed via the College website, for prospective students and their parents.
- Literature handed out at College Open Evenings will contain details of the Travel Plan.

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- The College will continue to chair the local residents' committee, and this will now be reinforced by each member being issued with a copy of the Travel Plan. Furthermore, it is intended that Local Highways Officers, Parking Officers and Councillors will be invited to the meetings in order for them to be made aware first hand of any issues.

Action Plan			
Action	Delivery	Timing	Responsible Staff
Phase 1			
Update College website to include new Travel Plan		October	Marketing Dept.
Distribute Travel Plan intentions and aims to all new students	During Enrolment	September	Student Services Dept.
Distibute Travel Plan intentions and aims to parents of new students	New Parent's Evening	September	SLT
Produce and display site wide posters promoting sustainable travel	Throughout year	October	SLT
Update College literature to reflect Travel Plan aims and objectives	During Enrolment	September	Student Services Dept.
Phase 2			
Collect travel data from staff and students	Tutor sessions and staff meetings	Twice yearly (Sept and Feb)	Senior Leadership Team (SLT)
Collate and analyse data	via Estates Dept.	Within 2 weeks of data receipt	Garry Holmes (GRH)
Produce travel data in table form		Within 2 weeks of data receipt	GRH
Produce updated targets based on data received	via email	Within 2 weeks of data receipt	GRH
Submit to SLT and SCC Highways	via email	Within 2 weeks of data receipt	GRH
Phase 3			
Present travel data to students and discuss alternative, sustainable alternative to those who drive to College each day with the emphasis on minimising their impact on the environment. To also explain the College's intentions to actively discourage such modes as driving alone and give the targets which have been set	Via Tutor Periods. The initiative has been incorporated into the College Tutorial Programme	Results of September suvey by end October Results of February survey by end March	All Staff
Promote car sharing for students	via Tutorial Programme	November	All Staff
Promote car sharing for staff	via Staff Meetings	November	All Staff
Promote car free week for staff	via Staff Meetings	May/June	SLT
Present results of staff survey to staff and discuss alternatives, especially giving thought to car sharing if public transport not viable. To outline the targets set by the College	Via Staff meetings	Results of September suvey by end October Results of February survey by end March	SLT
Phase 4			
Review data from survey 2 against survey 1 to analyse the success of the initiatives and set targets.	Estates Dept.	end March	GRH
Consider remedial measures outlined in Travel Plan should targets not be met	SLT	end March	GRH
Present results to students for discussion	Via Tutorial Programme	end March	All Staff
Present results to staff for discussion	Via Staff Meetings	end March	SLT
Introduce the Travel Plan aims and objectives to the Local Residents Group (LRG)	via LRG meetings	October	GRH

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7. Implementation and Monitoring

The College will be responsible for implementing the action plan.

Surveys will be sent out twice a year, once around the end of September and again after Christmas in order for the College to determine the modes of travel generally used by the student body and this will provide the data by which the College will set its targets.

The College Director of Estates and IT will be the named contact:

Tel. 01737 221118

Email; garry.holmes@reigate.ac.uk

and will submit survey results twice a year to SCC Highways and Reigate and Banstead Planning Dept. This will be in the form of a monitoring report, which will describe progress towards targets, and will include future targets, in line with Surrey County Council's guidance. If targets are not met by year 5, then monitoring will continue to year 9.


8. Remedial Measures

Should any of the proposed measures fail to make the desired inroads, the College will consider offering incentives to those staff and students who can show they have used sustainable travel methods by offering discounted hot drinks or breakfast in the College Refectory upon their arrival.

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Agenda Item: 8a and 8b
19/00990/F and 19/00991/LBC

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE	
	DATE:	22 nd January 2020	
	REPORT OF:	HEAD OF PLACES & PLANNING	
	AUTHOR:	James Amos	
	TELEPHONE:	01737 276188	
	EMAIL:	james.amos@reigate-banstead.gov.uk	
AGENDA ITEM:	8a – 19/00990/F 8b – 19/00991/LBC	WARD:	Banstead Village

APPLICATION NUMBER:	19/00990/F and 19/00991/LBC	VALID:	28/05/2019
APPLICANT:	Stonegate Homes Ltd	AGENT:	Montagu Evans LLP
LOCATION:	BANSTEAD PLACE, PARK ROAD, BANSTEAD, SURREY, SM7 3EE		
DESCRIPTION:	<p>8a and 8b: Change of use and external alterations including partial demolition to Banstead Place for residential use to create a total of 31 residential units across the site; Demolition of modern additions within site boundary and construction of part one and part two storey buildings for residential use; new car parking layout, and landscaping alterations within site boundary. Internal and external alterations to enable conversion and refurbishment of Banstead Place for residential use; Demolition of modern extensions to Banstead Place and replacement with residential units and new landscaping; Internal and external alterations to enable conversion and refurbishment of the Lodge for residential use and ancillary buildings for associated uses; Demolition of modern buildings and ancillary structures within the former walled garden and replacement with residential units and new landscaping; and restoration of existing Ha-Ha, reinstatement of woodland path and associated landscape improvements. As amended on 24/06/2019, on 25/09/2019, on 23/10/2019 and on 07/01/2020.</p>		
<p>All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.</p>			

SUMMARY

These are applications for full planning permission (8a) and listed building consent (8b) respectively.

Banstead Place is a charitable institution operating as a specialist rehabilitation centre for young adults suffering from brain injuries. The proposal is for the change

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of use of the facility from a residential institution to a residential use, and the provision of 31 residential units on the site. The main building on the site would be converted to 10 flats whilst modern extensions to the east of the main building and within the walled garden would be demolished and, in their place, 20 new terraced dwellings would be erected. In addition, the Lodge, located to the south-west of the main building would be converted to a dwelling. A total of 71 car parking spaces would be provided in various locations around the site. The existing access is to be re-used, with a formerly proposed second access deleted from the proposals.

The main building occupying the site is a grade II* statutory listed building. Sensitive internal and external alterations and extensions are proposed to facilitate the conversion of the building. An application for listed building consent is also included on this agenda.

The proposals also include the restoration of an existing Ha-Ha, the reinstatement of woodland path and associated landscape improvements, including the re-provision of an arboretum, a pear orchard and historic woodland management.

The proposals have been the subject of pre-application consultation with both the Council and with Historic England. Negotiations with the applicants over the course of both the pre-application consultation and the planning and listed building consent applications has been undertaken and has resulted in a proposal which both the Council and Historic England are able to support.

A key issue for the new proposal has been the size, scale and form of development in the kitchen garden, though there have been a considerable number of smaller issues, due to the size of the listed building and the number of features and buildings within its grounds.

There are a number of positive elements in the scheme as well as neutral elements, and it is concluded that the proposals are acceptable from a conservation viewpoint as they preserve the Listed Building, its setting and the Conservation Area. The demolition of the flat roof extensions is welcome, as well as the opening up of circulation within the site. The demolition of the northern single storey extension to the Banstead Place will be particularly welcome. Residential subdivision of a Georgian house is always a challenging process, but subdivision of principal rooms has been minimised, and there is the opportunity for greater clarity, from the research process, of the former country house uses becoming more legible, such as the library, billiard room and kitchen, subject to submission of suitable details.

New development has been kept to the rear of the property and discussions have focused on reducing the scale of the proposals. There has been commitment to managing the arboretum to the north, though a Historic Garden Management Plan will be required to gradually bring this wooded area back into good management. There is a need for repairs to the kitchen garden walls and the ha-ha ditch which has been committed to by the applicant and secured as part of the development.

In conclusion the development has preserved the heritage asset and enhanced certain elements.

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The site is located in the Green Belt and Core Strategy Policy CS3 and DMP Policy NHE5, in line with the NPPF (2019), state the construction of new buildings will be regarded as inappropriate in the Green Belt unless they fall within one of the listed exceptions. It is considered that the site comprises previously developed land and could therefore benefit from the exception set out in part G of NPPF para 145.

The proposals have been assessed with regards to their impact on the openness of the Green Belt and it has been concluded that the proposals would have no greater impact on openness than existing development and would not conflict with the purposes of including land within the Green belt. Accordingly, it is considered that the proposals would not constitute inappropriate development within the Green Belt.

The design of the new build elements has been carefully considered and amendments to the height of part of the proposed dwellings in the Walled Garden area are welcome and have resulted in a form of development which is appropriate in terms of its scale and design.

The formerly proposed new access point has been deleted from the proposals and just the existing access into the site would be re-used. A total of 71 car parking spaces are proposed which is considered acceptable.

A mix of dwelling sizes is proposed which would accord with adopted Policy. Each unit would be designed to meet the relevant standards set out in the Nationally Described Space Standards. Appropriate levels of cycle parking and refuse storage would also be provided.

The Landscape Strategy submitted with the application is considered acceptable as is the impact of the proposals on trees on the site. Further improvements would be provided through an Historic Woodland Management Plan.

The proposals have been assessed with regards to their impact on bio-diversity, energy and sustainability and are considered acceptable.

Accordingly, planning permission is recommended subject to conditions.

RECOMMENDATION

8a – 19/00990/F - Planning permission is **GRANTED** subject to conditions.

8b – 19/00991/LBC - Listed building consent is **GRANTED** subject to conditions.

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Consultations:

Highway Authority: The County Highway Authority has assessed the application on safety, capacity and policy grounds and is satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway with respect of access, net additional traffic generation and parking. The County Highway Authority therefore has no highway requirements subject to conditions relating to the provision of visibility splays at the site entrance, the provision of tactile paving at the site entrance, signs to enforce a one-way system through the site, the provision of the parking and turning areas prior to occupation, the provision of a construction management plan, the provision of cycle parking and the provision of electric vehicle charging sockets to residents and visitor parking spaces.

Drainage Authority – The Local Lead Flood Authority have reviewed the proposals and have considered the Flood Risk Assessment that is submitted as part of the proposals. They are satisfied that the proposed drainage scheme meets the requirements set out in the aforementioned document and are content with the development proposed subject to the imposition of a conditions requiring the proposed SUDS scheme to be implemented and maintained throughout the lifetime of the development.

Surrey CC Archaeology Officer – Banstead Place is a designated heritage asset dating from at least the early 18th century and the proposals have the potential to impact on buried remains associated with the history of the building. In acknowledgement of this the application is supported by a desk based archaeological assessment prepared by Archaeology South East.

It is confirmed that the assessment has consulted all currently available sources including the Surrey Historic Environment Record in order to characterise the archaeological potential of the site and concludes that whilst there is a moderate potential for archaeology of prehistoric date, the main archaeological interest lies in the high potential for buried archaeology from the post mediaeval development of the site.

As there is potential for archaeology to be present within the site, the report suggests that further archaeological works are required in order to properly assess the nature and extent of any archaeology that may be present. It is agreed with this conclusion and it is advised that in the first instance this should comprise of an evaluation trial trenching exercise, which will aim to rapidly establish whether archaeological assets are present. The results of the evaluation will enable suitable mitigation measures to be developed.

In this case the site has suffered some previous disturbance and as it appears unlikely that archaeological remains of national significance requiring preservation in situ will be present, it is considered that it would be reasonable to secure a programme of archaeological evaluation and, mitigation works by the use of a condition should planning permission be granted.

Conservation and Heritage Officer - Banstead Place is a grade II* Listed Building in Banstead Conservation Area. There are a number of curtilage structures that have

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the same protection as the listed building, including the ha-ha ditch, kitchen garden, outbuildings, lodge etc. There is also a locally listed historic garden designation, which covers much of the site and associated parkland.

Banstead Place is a house of mid-18th century appearance. The first reference to Banstead Place is in 1702. By 1783 it is described as an “excellent modern built brick dwelling house of 6 genteel rooms on a floor, adequate domestic offices, coach house, stabling, shrubbery and gardens with a detached farm-house, large barns and outbuildings.”

It worth noting the historic uses of the rooms in terms of the spatial order of Banstead Place. The core of the house around the central entrance is where the principal rooms for the owners were situated. The historic use of the house consists of on the north side of the entrance hall and staircase, a double drawing room, with later conservatory to the north and on the south side of the entrance hall and staircase, a panelled library at the front and the dining room to the rear. Further to the south side were the Georgian kitchen with Venetian window and ancillary offices including towards the south east end, including the Servant’s Hall with the bell to exterior. Around 1900 a billiard room was added on the south west corner.

The main Georgian features in terms of joinery are the staircase and the panelled library, though skirting, dado rails and two fireplaces date from this period. The mid-18th century staircase was extended to the attic in the Regency period at which time the southern garden bay was added to the south of the original Georgian garden bay. In the 19th century the attic floor was added over the southern wing and connected to the existing Georgian attic over the centre of the house. A large nursery room was added on the south east side of this Victorian addition. There is a quantity of Victorian plasterwork in the main rooms, some of which appears to have been embellished from earlier plasterwork. Fireplaces have generally not survived. and the doors are currently boarded over.

In the grounds is the walled garden, the lodge (a former filtration plant and underground water reservoir, a rare feature, to reduce the chalkiness of the water), the Georgian coach house and flint outbuilding. The historic garden to the north consists of an 18th century wilderness Yew woodland and Victorian wooded garden in need of management, and to the east former parkland and ha-ha ditch. To the south is a walled garden and site of John Motteux’s pear orchard, who was a vice president of the (now Royal) Horticultural Society (and responsible for the unusual reservoir).

From the 1950’s a number of single storey flat roof buildings were added, of a pre-fabricated nature as part of the current Queen Elizabeth Foundation use. In the 1990’s the walled garden was development with accommodation in a classical style.

A key issue for the new proposal has been the size, scale and form of development in the kitchen garden, though there have been a considerable number of smaller issues, due to the size of the listed building and the number of features and buildings within its grounds.

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Discussions on other parts of the site have included the conversion of the house in terms of detailing and subdivision, the car park locations, which has now been resolved and avoids the historic Yew trees, general historic garden issues, which can be covered by a Historic Garden Management Plan, the form of the Garden walk housing to east of Banstead Place, the conversion of the front lodge and its unusual former underground reservoir, and the retention of the Georgian roof above the south wing, which is now being retained.

In what is now referred to as the arboretum, historically the 18th century yew wilderness woodland, the Victorian wooded garden and associated features such as the ice house and pond. The area has suffered from neglect and colonisation of sycamore, and a Historic Garden Management Plan is needed to ensure how the garden will be managed and pruned back in to a reasonable condition. This may take 10 to 20 years of routine maintenance for lawns and ground cover to return as light conditions are improved with the woodland garden.

The following heritage policies apply. The Planning (Listed Buildings & Conservation Areas) Act 1990 requires a local planning authority to have special regard to the desirability of preserving a listed building or its setting or any features of special architectural or historic interest which it possesses. It also requires a local planning authority to have special regard to the desirability of preserving or enhancing the character or appearance of that area. The NPPF Part 16. "Conserving and enhancing the historic environment" considers Statutory Listed Buildings and Conservation Areas to be designated heritage assets. Whilst the historic garden listings are generally local, in this case the designation is within the Conservation Area, and curtilage and setting of the statutory listed buildings so would fall within these designated heritage asset considerations.

The applicant has described the significance of the heritage assets as required under NPPF paragraph 189 and the local planning authority has identified the particular significance of the heritage asset. In considering the impact of a proposed development, under paragraph 193, on the significance of a designated heritage asset, great weight has been given to the asset's conservation and harm has been considered under paragraph 194 to 196. It is considered that the any harm is less than substantial harm to the significance of a designated heritage asset, and this harm has been weighed against the public benefits of the proposal. In accordance with paragraph 200, the local planning authority has looked at the opportunities for the development to enhance or better reveal the significance of the Conservation Area and setting of the heritage asset. Reigate and Banstead Policy CS4: Valued townscapes and the historic environment and Policy NHE9: Heritage assets have similar considerations to the NPPF and the Act.

The negotiations have been complex due to the large size of the listed building and its important II* listing. There are also a large number of curtilage features in the grounds including the kitchen garden wall, the ha-ha ditch, the former coach house and former lodge and underground reservoir, as well as the wilderness garden to the north, now known as an arboretum.

There are a number of positive elements in the scheme as well as neutral elements, and I would conclude the proposals are acceptable from a conservation viewpoint as

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they preserve the Listed Building, its setting and the Conservation Area. The demolition of the flat roof extensions is welcome, as well as the opening up of circulation within the site. The demolition of the northern single storey extension to the Banstead Place will be particularly welcome. Residential subdivision of a Georgian house is always a challenging process, but subdivision of principal rooms has been minimised, and there is the opportunity for greater clarity, from the research process, of the former country house uses becoming more legible, such as the library, billiard room and kitchen, subject to submission of suitable details.

New development has been kept to the rear of the property and discussions have focused on reducing the scale of the proposals. There has been commitment to managing the arboretum to the north, though a Historic Garden Management Plan will be required to gradually bring this wooded area back into good management. There is a need for repairs to the kitchen garden walls and the ha-ha ditch which has been committed to by the applicant and secured as part of the development.

In conclusion the development has preserved the heritage asset and enhanced certain elements. The Council has given the required great weight to the conservation of the heritage assets, and it is considered that harm has been minimised by careful consideration of the impact on the historic fabric and reduction of the scale of the proposed development, which has removed initial concerns about the impact on the setting on the listed building and conservation area. The use of appropriate high quality materials, design and detailing will be further ensured by condition. It is hoped that the development will help to secure the long term viable use and sustainable future of Banstead Place, in a manner consistent with its conservation, and that the associated development now has an acceptable relationship to Banstead Place as a heritage asset, and character of the surrounding area.

Historic England – Note that pre-application advice was provided for proposals at this site. HE attended meetings to discuss proposals on the 13th September and 8th November 2018 and provided written advice on the 28th September, 16th November and 11th December 2018.

Banstead Place is a grade II* listed mid-18th century Classical villa with grounds, situated in the Park Road/ Mint Road Conservation Area. The site is currently used by the Queen Elizabeth Foundation (QEF) Neuro Rehabilitation Service, which offers neuro rehabilitation transitional support for adults following brain injury or neurological illness. The facility is surplus to requirements and QEF intend to relocate the existing services at Banstead Place to a new consolidated facility with wider services in Leatherhead.

This application seeks to change the current institutional use of the site to entirely residential with the developer being Stonegate Homes. The application proposes the alteration of the main house to residential use and the demolition of post war additions and extensions in the grounds to be replaced with new dwellings. The proposals seek to reinstate the lost formal garden to the rear (east) of the main house and landscaped area to the front (west) of the main house. The application further seeks to improve the appreciation of the walled garden. To facilitate the redevelopment of the site, the application includes parking provision.

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Significance

The Banstead Park Estate originated in the early seventeenth century (formerly known as Carpenters) and was purchased from the owners, the Wilmot family, in the eighteenth century. The villa is thought to date to the mid-18th century and possibly involved the clearance of older buildings on the site. The estate passed through several families including John Motteux, a Huguenot and Director of the East India Company and subsequently Sir Ralph Neville before being bequeathed to the Worshipful Company of Skinners in 1923. The villa was requisitioned by the War Office in 1939 as a hospital for servicemen and from 1946-55 it housed displaced Londoners driven out by the Blitz. The Queen Elizabeth Foundation (QEF) acquired a lease in 1956 and then the freehold in 1973.

The principal building is a red brick villa of symmetrical Classical design with a central entrance hall and rear staircase, originally flanked by rooms either side. The building was modified in the later eighteenth century with alterations to the roof and the rear elevation. In the Victorian and early Edwardian period substantial brick extensions and a conservatory were added to the north and south of the main villa to provide additional family residential accommodation and entertainment space making the building asymmetrical. The building draws its significance from its historical and aesthetic value as a mid-18th century country villa.

A key feature of country villa design was the intrinsic link between the principle building, its surrounding landscape and ancillary buildings. The landscaped grounds and historic ancillary buildings and structures, e.g. the walled garden, at Banstead Place, though altered, add to the significance of the site and together with the principal house have evidential value in their grouping.

Although externally the domestic character of the villa in its setting is still appreciable, following the QEF occupation of the site the character of the interior of the building and its setting is institutional, with its domestic social history obscured. Poorly designed modern buildings associated with the sites use as a rehabilitation centre have been constructed in the form of wings to the north, east and south of the main building. In 1988-91 three additional five person "cluster units" with additional staff accommodation were constructed within the boundary of the walled garden.

The prominence of the Georgian, Victorian and Edwardian architecture at Banstead Place amongst surrounding vernacular buildings contributes to the special historic and architectural interest of the Park Road/ Mint Road Conservation Area.

It is our view therefore that the these post-war additions and extensions which shroud the mid-18th century Classical villa and cover much of its grounds do not make a positive contribution and cause harm to the significance of the highly graded listed building, associated curtilage listed buildings and structures, their setting and the special architectural and historic interest of the Conservation Area.

Impact

The heritage statement is effective in analysing the planning history of Banstead

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Place and HE agree with its conclusion that the building and its surrounding grounds have been significantly altered over time to meet the differing requirements of successive occupiers. In their view these changes have been to the site's detriment, negatively affecting the sites significance. With this in mind, Historic England has supported the applicant, through pre-application advice, to bring about positive improvement which better reveals the sites significance. This application seeks to achieve this through the demolition of the post war additions and extensions, the re-instatement of landscape features, the internal re-configuration of the main building for residential use and the introduction of sensitively sited new dwellings into the landscape.

Government policy as set out in the National Planning Policy Framework (NPPF) has a clear commitment to achieving sustainable development which in its environmental role includes contributing to protecting and enhancing the natural, built and historic environment (NPPF para 8c). Heritage assets are an irreplaceable resource and the approach set out in the NPPF requires local planning authorities to take account of the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting). The NPPF advises that planning authorities should look to avoid or minimise any conflict between the conservation of a heritage asset and any aspect of a proposal (NPPF para 190). NPPF paragraphs 193 and 194 require that great weight should be given to the conservation of designated heritage assets, irrespective of the level of harm to be caused and that any harm requires clear and convincing justification.

In determining applications, local planning authorities should take account of the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation and the desirability of new development making a positive contribution to local character and distinctiveness (NPPF para 192a and c).

Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably (NPPF para 200).

Position

Banstead Place - internal works

HE notes from the heritage statement, existing plan drawings and the photographic survey that the historic plan form has been significantly altered to accommodate the existing institutional use. From photographic evidence some architectural details survive including joinery, decorative plaster work, fireplaces and staircases.

The proposed scheme includes the complete remodelling and refurbishment of the principle listed building into self-contained flats with the insertion of bathrooms and kitchens. There should be a presumption in favour of retaining the historic plan form without alteration or subdivision where possible, and of retaining and upgrading architectural features and finishes of merit, such as decorative plasterwork, joinery

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and fireplaces.

HE states that they are pleased that no wholesale removal of historic internal walls is proposed and that flats are created by internal subdivision within the historic plan form. Where this is undertaken, new partitions should be carefully inserted around existing architectural features. To facilitate the formation of the flats a limited number of new openings are proposed in the historic fabric. Where removing parts of a wall for the creation of a door, we would expect that cornices and decorative features are retained and that a 'jib' door might be considered. This would allow existing design patterns, symmetrical elevations or architectural details to be retained, repaired and revealed.

The single storey service range to the south of the main house is proposed to have a section of first floor roof removed to facilitate a first floor extension. The significance of the existing roof structure needs to be established and incorporated into the scheme if found to be of significance. HE are broadly content with the principle of some new development at attic level and note that the proposed new form is set back from the existing external walls and is subordinate to the adjacent Victorian wing.

Banstead Place - external works

The mid-18th century symmetrical composition of the main building was altered with the addition of a conservatory to the north and additions to the south in the Victorian and Edwardian period. With the occupation of the QEF further modern additions and extensions have shrouded the exterior of the highly graded villa and altered its appearance from a domestic building to one of an institutional form.

HE supports the careful removal of the post war additions and extensions, including access ramp which in our view will improve the appearance of the elevations, better revealing the historic and aesthetic significance of the building.

Banstead Place - Conservatory

The post war additions and extensions have also obscured and altered the 19th century conservatory abutting the north gable of the building. HE agree with the heritage statement that this element of the historic building only makes a limited contribution to the significance of the listed building. They welcome the proposed removal of intrusive modern extensions and the reinstatement of an un-obscured conservatory. It would be their preference as a first principle that as much of the historic conservatory be retained where possible and repaired as required. Should this not be possible they would welcome a replacement conservatory that reflects the Victorian design.

Garden Walk Housing

The post war extensions to the rear (east) of the principal building are detrimental to the significance of the highly graded villa and its setting. The buildings sit in what were the formal gardens of the house. The buildings prevent views out from the building across the open countryside and views back in to the rear elevation. This

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has a negative impact on the evidential value of the complex and understanding its group value.

The application proposes the removal of the post war buildings and the partial reinstatement of a formal lawn enabling views in and out of the villa to be restored. In addition to these down takings it is proposed to introduce two terraces of five dwellings running east to west to the east of the villa.

It is noted that their pre-application advice has been incorporated into the application with the positioning of the terraces set as far east as possible framing the mid-18th century rear elevation. They note the design of the terraces and their subordinate scale to the main building. This allows the larger group of buildings at Banstead Place to be read as a complex. Additionally, they note that the positioning of these blocks allows for the re-establishment of the traditional landscape of the country villa, with the terrace to the rear of the house opening onto a lawn and looking out over wider rural countryside. Additionally, HE welcomes the re-introduction of a path running north to south linking the Arboretum, the villa and the walled garden.

Whilst in their view these buildings will cause some harm through changes in the setting of the listed building, they represent a considerable improvement on the current position. They would encourage the creation of a landscape management plan which would discourage the introduction of garden structures.

Walled Former Kitchen Garden

To the southeast of the main house is the walled garden. Sat within the walls are various 1990s buildings which obscure the walls, preventing their appreciation and understanding.

Walled gardens increased in popularity during the 19th century and were a common Victorian addition to country estates. The surviving remnants of the wall at Banstead Place, where it has not been altered to enable access for pedestrians and vehicles, positively contributes to the setting of the main house as a surviving historic feature that forms part of the former landscaped grounds and gardens of the estate.

Building dwellings within the walled garden will cause some harm, however in considering the application the current proposals represent an improvement on the current situation.

The proposals positively reflect pre-application discussions. The positioning of the new buildings enables a significant central area of the former kitchen garden to be returned back to landscaping and prevents the central space being broken up. The proposed location of the buildings enables views of historic parts of the garden walls by being stepped forward from the walls to allow for a perimeter path. Harm to the significance of the walled garden could be further reduced by minimising the height of the proposed buildings however this being said the proposals represent a much improved balance between development and open garden space.

The landscaping approach appears to borrow from historic OS maps of the garden,

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better reflecting the spaces historic purpose and relationship to the main house. We welcome the proposed usage of the opening in the east wall to provide access to the re-introduced orchard and meadow. In our view these proposals improve the spaces legibility and preserves and enhances the understanding of the space, reasserting the significance of the walled garden within the estate.

Landscaping and access

Car parking to the front of the villa, introduced in the 1990s, obscures views of the building detracting from its significance and the positive contribution it makes to the Conservation Area. Historically the front of the building had a carriage sweep and areas of landscaping softening the principal façade. The proposed reorganisation of parking to the rear is welcomed and is a positive heritage gain.

HE additionally welcomes other landscape improvements which include the removal of invasive plant species and replacement planting of historic species in the Arboretum and the reinstatement of the orchard to the east of the walled garden.

Summary

HE State that the applicant has adopted an approach which takes opportunities to enhance the significance of the listed building through removal of harmful development in the setting and refurbishment of the principal building. They acknowledge the positive direction of travel the proposals have taken following pre-application advice provided in conjunction with Reigate and Banstead Borough Council. They welcome the design changes in the application and acknowledge the reduced level of harm. It is considered by HE that overall the proposals would enhance the significance of the highly graded listed building and its setting and the character and appearance of the Conservation Area, through the re-instatement of the hierarchy of the main house and associated service buildings that can be appreciated in a designed landscape as would have been originally intended.

This would be achieved through the removal of post war additions and extensions, the restoration of the formal landscaped grounds, the reinstatement of a conservatory, the increased legibility of the estate, with key views reintroduced, the relocation of car parking to less sensitive locations and planting improvements to the Arboretum to the north and orchard to the east.

The heritage statement is helpful in describing the history and providing a plan of the built evolution of the site, describing the proposed developments and evaluating their impacts. In their view the proposed development has been revised to positively reflect the pre-application advice provided by Historic England.

Whilst in their view some harm remains, this is less than substantial. They state that if the Council are satisfied that harm has been avoided or minimised to the greatest extent possible by the design of the development and the remaining harm is outweighed by public benefit, they would support the Council in proceeding to determine the application.

Historic England supports the applications on heritage grounds.

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Following the receipt of revised plans in November 2019, Historic England further commented that they welcomed the direction of travel of the application in undertaking further research, providing better quality information and seeking to improve the way in which proposals respect and respond to the highly graded building. They were aware that the Council was working with the applicant to understand the detailed design of the proposals and support your efforts to secure the retention and reinstatement of the significance of the historic building.

They noted the change in proposals to the single storey service range to the south of the main house. It was understood that this followed further assessment being undertaken of the existing roof structure as they requested in our letter of the 24th June 2019.

Banstead Place - Conservatory

HE welcomes the updated approach to work to the conservatory and support the principle of reinstating a form that seeks to emulate that of the historic design.

Walled Former Kitchen Garden

HE noted the alterations to this part of the scheme. They welcomed the change in proposals to prevent cars from entering this part of the site and instead to limit provision to emergency access only.

It remains their view that harm to the setting of the grade II* listed house could be further minimised by reducing the height of the taller north eastern block to match that of the rest of the walled garden development. Additionally, it appears that harm could be further minimised by reviewing the roof profiles of those buildings with a pitched roof, the design of those blocks running east west is the most successful in terms of impact on the setting of the grade II* house. Has thought been given to these blocks design being used throughout the walled garden development? It is their view that this would produce a higher quality and a lower impact development as required when building in the setting of highly graded heritage assets.

Whilst in their view some harm remains, this is less than substantial. They state that if the Council is satisfied that harm has been avoided or minimised to the greatest extent possible by the design of the development and the remaining harm is outweighed by public benefit, they would support the Council in proceeding to determine the application.

Environmental Health (Contaminated Land): There is some potential for contamination to be present on and or in close proximity to the application site. As such, conditions to deal with contaminated land and an informative to provide additional guidance are recommended.

Neighbourhood Services – Have provided comments on the refuse collection strategy for the proposed development with regards to access for a 26 tonne refuse collection vehicle and suitable storage and collection points on the site. The refuse strategy proposes that residents within the Main House will take their refuse to the communal bin storage located in the northern car park. The refuse collection vehicle

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will then reverse into this area of the car park and collect the bins within 10m of the storage. The drag distances for residents will be greater than the recommended distance however due to the type of development and the constraints on site these distances are proposed to be adequate for the circumstances. This refuse storage will provide enough room to meet these required refuse standards.

Thames Water – No objections raised.

Park Road Residents Association – Support the application with one reservation. The proposals include the restoration of the access/exit point onto the site from Park Road opposite the Mint Pub. This was removed many years ago by the QEF because of its proximity to the dangerous bend in Park Road. PRRA suggest that the current layout entry/exit is retained as it allows better sightlines for traffic leaving the site and a much better deceleration area for traffic entering the site. Also suggest that a mini-roundabout would improve safety at this junction. Also suggest that a safer pedestrian route is provided to the site from Park Downs.

Banstead Village Residents Association – Endorse the comments made by Park Road Residents Association on the planning application and echo their support with one reservation. The proposals include the restoration of the access/exit point onto the site from Park Road opposite the Mint Pub. This was removed many years ago by the QEF because of its proximity to the dangerous bend in Park Road. PRRA suggest that the current layout entry/exit is retained as it allows better sightlines for traffic leaving the site and a much better deceleration area for traffic entering the site. Also suggest that a mini-roundabout would improve safety at this junction. Also suggest that a safer pedestrian route is provided to the site from Park Downs.

Representations:

Letters were sent to neighbouring properties on 30th May 2019, a site notice was posted 27th June 2019 and advertised in local press on 5th June 2019. Neighbours were re-notified on the revised plans for a 14 day period commencing 6th November 2019.

No responses were received to the listed building consent.

7 responses have been received on the full application raising the following issues:

Issue	Response
Inadequate parking	See paragraphs 6.45- 6.46
Increase in traffic and congestion	See paragraphs 6.45-6.46
Hazard to highway safety	See paragraphs 6.45-6.46
Harm to Green Belt/countryside	See paragraph 6.5-6.21
Loss of and harm to trees	See paragraphs 6.47-6.51
Overbearing relationship	See paragraphs 6.61-6.64
Overlooking and a loss of privacy	See paragraphs 6.61-6.64

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Alternative location/proposal preferred	Not a material planning consideration
Drainage/ sewage capacity	See paragraphs 6.65-6.66
Flooding	See paragraphs 6.65-6.66
Harm to conservation area	See paragraph 6.31-6.44
Harm to listed building	See paragraph 6.31-.6.44
Health fears	No adverse health impacts likely
Inconvenience during construction	See Construction method statement condition
Poor design	See paragraph 6.22-30
Overdevelopment	See paragraph 6.22-6.30
Noise and disturbance	See Construction method statement condition
Property devalue (not a planning issue)	Not a material planning consideration
Loss of a private view	Not a material planning consideration

There is support for the proposals on the grounds of the community/ regeneration benefit and a benefit to housing need.

1.0 Site and Character Appraisal

- 1.1 The site comprises a specialist rehabilitation centre offering assessment, rehabilitation and education for young adults suffering from brain injuries. It is a charitable institution run by the Queen Elizabeth's Foundation.
- 1.2 The site lies within countryside designated as metropolitan green belt. Together with Place Farm, the Mint Public House and Mint Cottages, it forms a small hamlet on Park Lane, otherwise surrounded by open farmland and woodland. The hamlet is designated as part of Banstead Conservation Area.
- 1.3 Banstead Place is an early C18th grade II* listed mansion, but with a courtyard of modern one storey buildings to the rear and further modern single and two storey buildings in a former walled garden, which provide the majority of accommodation on the site. An area of woodland screens the site from the north, and farm buildings and the walled garden limit views from the south. There are a number of mature trees on the site, forming part of the grounds to Banstead Place.
- 1.4 To the front of the house is an unmarked surface car park which is bound by a grass verge. There is a total of 36 car parking spaces in this location. To the south of the car park is the Lodge building comprising of ground floor over a vacant basement.

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1.5 Banstead Place is a Grade II* listed building located within the Banstead Conservation Area. A number of structures within the site a curtilage listed, including the Lodge, a wall former kitchen garden to the south of the main house and a flint ha-ha ditch to the east of the main house.

2.0 Added Value

2.1 Improvements secured at the pre-application stage: The applicant entered into pre-application discussions with the Council (PAM/18/00431). A scheme similar to the current application was proposed. The Council's response confirmed that that it was not considered that the existing use constituted a community use but was considered to form a residential institution. The principle of a change of use to residential was considered acceptable subject to an acceptable form of redevelopment.

2.2 It was noted that the site was within the Green Belt and advice was offered on the need to demonstrate that the proposals would not have a greater impact on openness than existing development, both in numerical terms and through a visual appraisal. It was stated that a reduction in scale, bulk and massing will be required to achieve an acceptable proposal. Further advice on the scale bulk and design of the proposals was given.

2.3 It was also noted that the site was a Grade II* listed building within the Banstead Conservation Area. Advice was given on the need for listed building consent for all alterations to the main building as well as for works within the curtilage of the site. Further advice was also given in relation to the extent of works proposed and to the form of the development. It was noted that the site has significant tree interest and cover, with the site being located within a conservation area and the Historic Park and Garden designation on the site. Advice was given in relation to the location of parking and for the restoration of woodland.

2.4 A second pre-application meeting was held in December 2018 to discuss revised proposals for the site (PAM/18/00551). Specifically, detailed advice was given on the internal conversion and restoration of the main building and on the form of development proposed for the Garden Walk and for the Kitchen Garden. In addition, advice was given with regards to car parking, fore the Front Lodge and for the Wilderness Garden.

2.5 Improvements secured during the course of the application. The application has been amended on a number of occasions during the course of the application to respond to comments made on the original submission by the Council's Conservation officer and by Historic England.

2.6 Further improvements could be secured through the use of conditions.

3.0 Relevant Planning and Enforcement History

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- | | | | |
|-----|------------------------------|--|--|
| 3.1 | 19/00991/LBC | Change of use and external alterations including partial demolition to Banstead Place for residential use; Demolition of modern additions within site boundary and construction of part one and part two storey buildings for residential use; and new access created onto public highway, new car parking layout, and landscaping alterations within site boundary. Internal and external alterations to enable conversion and refurbishment of Banstead Place for residential use; Demolition of modern extensions to Banstead Place and replacement with residential units and new landscaping; Internal and external alterations to enable conversion and refurbishment of the Lodge for residential use and ancillary buildings for associated uses; Demolition of modern buildings and ancillary structures within the former walled garden and replacement with residential units and new landscaping; and restoration of existing Ha-Ha, reinstatement of woodland path and associated landscape improvements. As amended on 23/10/2019. | Pending consideration |
| 3.2 | 15/00871/CLE | Confirmed lawful existing use of site as a residential institution (Class C2) | Granted
26 th June 2015 |
| 3.3 | 07/02273/F &
07/02274/LBC | Single storey extension for rehabilitation facility | Granted
1 st February 2008 |
| 3.4 | 05/01896/LBC | Relocation and modification of kitchen and dining facilities; provision of welfare accommodation with one new flat and the updating of one existing flat | Granted
29 December 2006 |

4.0 Proposal and Design Approach

- 4.1 These are full and listed building applications for the change of use and external alterations including partial demolition to Banstead Place for residential use to create a total of 31 residential units across the site. The

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proposals involve the demolition of modern additions within site boundary and construction of part one and part two storey buildings for residential use, a new car parking layout, and landscaping alterations within site boundary.

- 4.2 Internal and external alterations are proposed to the main building to enable its conversion and refurbishment for residential use with the formation of 12 residential flats in a mix of sizes including 1, 2 and 3 bedroom units. The proposals include the erection of a new single storey rear extension to the existing single storey element along the south side of the building and a replacement Victorian style conservatory to the northern elevation.
- 4.3 To the east of the main building, the modern extensions to Banstead Place would be demolished and it is proposed to erect 8 x 4 bedroom terraced dwellings within the Garden Walk area, each with a private garden containing a cycle and bin store and communal landscaped areas. These properties would have the appearance of single storey buildings with the upper storey contained within the roof space. These buildings would be finished in grey bricks with a slate roof, and oak window frames, doors and infill panels.
- 4.4 Within the Walled Garden area to the south-east of the main building, the modern buildings and ancillary structures would be demolished and replaced with 10 two storey residential units in a mix of sizes and new landscaping. Amended plans have been received to show that these buildings would have the appearance of two storey properties with low pitched roofs. The buildings would be finished in a mixture of knapped flint at ground floor level, charred larch frames and charred larch infill panels with frameless windows at first floor level, with slate roof tiles.
- 4.5 Planning permission and listed building consent is also sought for the conversion of the Lodge to a 2 bedroom dwelling with internal and external alterations, including the conversion of the reservoir in the basement of the Lodge. Other ancillary buildings within the Stable yard would be converted to ancillary residential use such as bicycle and refuse storage.
- 4.6 The landscaping proposals include the restoration of the existing ha-ha, reinstatement of woodland path, a woodland management plan and associated landscape improvement such as the restoration of the orchard and opening up of the arboretum.
- 4.7 The proposed development would provide 71 parking spaces in total with 64 allocated to residents and 7 for visitors. A total of 36 cycle parking spaces would also be provided. A formerly proposed new access point to the north of the Lodge has been deleted from the proposals.
- 4.8 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;

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Involvement;
Evaluation; and
Design.

4.9 Evidence of the applicant's design approach is set out below:

Assessment	The character of the surrounding area is assessed as the historic listed buildings on the site and the surrounding historic garden and conservation area.
	Site features meriting retention are listed as the heritage assets including the Grade II* listed building, and other heritage assets.
Involvement	The applicant has undertaken pre-application consultation with the Council and with Historic England. No consultation has been undertaken with the local community.
Evaluation	The other development options considered were alternative residential proposals for the site.
Design	The applicant's reasons for choosing the proposal from the available options were to ensure the retention and restoration of the Grade II* listed building on the site, the restoration of the historic garden and the retention and restoration of other heritage assets, including the kitchen garden wall.

4.10 Further details of the development are as follows:

Site area	2.2 ha
Existing use	Class C2 residential institution (Brain Injury rehabilitation centre)]
Proposed use	Class C3 residential use
Existing parking spaces	36
Proposed parking spaces	71
Parking standard	71
Number of affordable units	0
Net increase in dwellings	31
Infrastructure contribution	0
Proposed site density	14 dpha

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5.0 Policy Context

5.1 Designation

Metropolitan Green Belt
Banstead Conservation Area
Grade II* listed building
Banstead Place Historic Park and Garden

5.2 Reigate and Banstead Core Strategy

CS1 (Sustainable Development)
CS2 (Valued Landscapes and Natural Environment),
CS3 (Green Belt)
CS4 (Valued Townscapes and Historic Environment)
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS14 (Housing Needs)
CS15 (Affordable Housing)
CS17 (Travel Options and accessibility)

5.3 Reigate and Banstead Development Management Plan 2019

DES1 (Design of New development)
DES8 (Construction Management)
TAP1 (Access, Parking and Servicing)
CCF1 (Climate Change Mitigation)
NHE1 (Landscape Protection)
NHE2 (Protecting and enhancing biodiversity and areas of geological importance)
NHE3 (Protecting trees, woodland areas and natural habitats)
NHE5 9 Development within the Green Belt)
NHE9 (Heritage Assets)
EMP5 (Local Skills and Training Opportunities)
INF3 (Electronic communication networks)

5.4 Other Material Considerations

National Planning Policy Framework
National Planning Practice Guidance
Supplementary Planning Guidance

Surrey Design
Local Distinctiveness Design Guide
Vehicle and Cycle Parking
Guidance 2018
Householder Extensions and
Alterations
Affordable Housing
Banstead Conservation Area
Appraisal

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Other

Human Rights Act 1998

Community Infrastructure Levy
Regulations 2010

6.0 Assessment

6.1 The site is currently used by the QEF Neuro Rehabilitation Service which offers neurohabilitation and transitional support for adults following brain injury or neurological illness. It is understood that QEF intend to relocate the Service to a new consolidated facility with wider services in Leatherhead.

6.2 In 2015, a certificate of lawful existing use was granted which has confirmed the existing use of the site as a rehabilitation clinic with residential stay accommodation forms a residential institution (Planning Use Class C2). As such it is not considered to form a community use such that DMP Policy INF2 is not relevant to the consideration of the proposal. Subject to the provision of an acceptable replacement scheme, the principle of a change of use from C2 to C3 is acceptable.

6.3 The site is located within the Metropolitan Green Belt. National and Local Policy requires that in order to preserve the openness of the Green Belt, planning permission should not be granted for development that is inappropriate unless justified by very special circumstances.

6.4 The main issues to consider are:

- The principle of new buildings in the Green Belt
- Design appraisal
- Heritage Impact
- Highways
- Trees
- Landscape Strategy
- Energy and Sustainability
- Impact on bio-diversity
- Housing Mix
- Neighbours amenity
- Flooding and drainage
- Affordable housing

The principle of new buildings in the Green Belt

6.5 The site is located in the Green Belt and Core Strategy Policy CS3 and DMP Policy NHE5, in line with the NPPF (2019), state the construction of new buildings will be regarded as inappropriate in the Green Belt unless they fall within one of the listed exceptions.

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- 6.6 Para.143 of the NPPF states that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. Para.145 sets out a number of exceptions to this, including as section G, limited infilling or the partial or complete redevelopment of previously developed land, whether redundant or in continuing use (excluding temporary buildings), which would not have a greater impact on the openness of the Green Belt than the existing development.
- 6.7 Core Strategy Policy CS3 states that planning permission will not be granted for inappropriate development in the Green Belt, unless very special circumstances exist which clearly outweigh the potential harm to the Green Belt.
- 6.8 DMP Policy NHE5 part 2 relates to replacement buildings. The policy states that replacement buildings in the Green Belt will be permitted where:
- a. the existing building is lawful and permanent
 - b. the building proposed is for the same use as that which it is replacing
 - c. the design of the building and any associated landscaping proposals respects the character of the area and openness of the Green Belt
 - d. the proposed building is not materially larger than that which it is replacing taking account of the footprint, floor area, massing, bulk and height of the replacement building; and
 - e. the building would be sited on or close to the position of the original building unless an alternative location within the curtilage materially reduces impact on the openness of the Green Belt.
- 6.9 The applicants have put forward the argument that the site constitutes 'previously developed land' and could therefore benefit from the exception set out in part G of NPPF para 145. The definition of previously developed land is set out in Annex 2 of the NPPF and states as follows:
- Land which is or was occupied by a permanent structure, including the curtilage of the developed land (although it should not be assumed that the whole of the curtilage should be developed) and any associated fixed surface infrastructure. This excludes: land that is or was last occupied by agricultural or forestry buildings; land that has been developed for minerals extraction or waste disposal by landfill, where provision for restoration has been made through development management procedures; land in built-up areas such as residential gardens, parks, recreation grounds and allotments; and land that was previously developed but where the remains of the permanent structure or fixed surface structure have blended into the landscape.*
- 6.10 The site is occupied by permanent structures and does not fall into one of the exclusions. It is therefore considered to comprise of previously developed land. With regards to the impact on openness, the National Planning Practice Guidance published advice on the assessment of openness in the Green Belt in July 2019. It states that "assessing the impact of a proposal on

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the openness of the Green Belt, where it is relevant to do so, requires a judgment based on the circumstances of the case. By way of example, the courts have identified a number of matters which may need to be taken into account in making this assessment. These include, but are not limited to:

- openness is capable of having both spatial and visual aspects – in other words, the visual impact of the proposal may be relevant, as could its volume;*
- the duration of the development, and its remediability – taking into account any provisions to return land to its original state or to an equivalent (or improved) state of openness; and*
- the degree of activity likely to be generated, such as traffic generation.”*

6.11 Each of these issues is discussed in turn below.

Spatial Impact

6.12 The proposed development would result in a reduction in the amount of built development on the site, in terms of the footprint of development, the floorspace of development and the volume of buildings. Existing buildings on the site cover a footprint of 3,680sqm whilst the proposed development would cover a footprint of 2,364sqm, a reduction of 1,356 sqm. The gross internal floor area of existing buildings amounts to 4,031 sqm, whilst the proposed development would have a gross internal floor area of 3,546sqm, a reduction of 486 sqm. The volume of existing buildings on the site amounts to 14,832cu.m, whilst the volume of the proposed buildings would amount to 13,464 cu.m, a reduction of 1,368 cu.m. In spatial terms, therefore, the proposed development would have no greater impact on the openness of the Green Belt than existing development.

Visual Impact

6.13 In support of the proposals, the applicants have submitted a Landscape and Visual Appraisal. The Appraisal provides an assessment of the visual impact on the proposed development and identifies three main views, from Park Road with views towards the main building and towards the walled garden and from public footpath no 18 looking south west across open land towards the rear of the main building.

6.14 With regards to the views of the main building from Park Road, the Appraisal considers that the view from Park Road to the Mansion would be significantly enhanced by the relocation of car parking away from the historic frontage, the removal of trees that obstruct the view and the removal of insensitive 20th C buildings. The mansion will once again be visible and a defining feature of the character of the area. With regards to views of the walled garden from park Road, the Appraisal notes that the walls of the Walled Garden would be retained and made good, and new lower buildings will replace the existing buildings within the Walled Garden, resulting in a moderately beneficial effect.

6.15 From the east, there are oblique rising views of the main building from public footpath no. 18 with the main building flanked and backed by a woodland that

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forms the skyline. The view of the building diminishes as the footpath descends. The proposed residential buildings within the Garden Walk area which would replace the existing modern buildings would be read as contiguous with the walled garden and the main building. It is considered that this would have a moderate visual impact on the character of the site.

- 6.16 In light of these comments, it is considered that the proposals would have an acceptable visual impact on this Green Belt location.

Duration of Development

- 6.17 The PPG refers to the duration of the development, and its remediability – taking into account any provisions to return land to its original state or to an equivalent (or improved) state of openness. In this case, the proposed development would comprise of permanent structures which in general terms would be replacing existing permanent structures. It is considered that on this point, the proposed development would have a neutral impact on the Green Belt.

Degree of activity likely to be generated

- 6.18 The existing site is in use as a Brain Injury Remediation centre. The application is accompanied by a Transport Statement which provides an assessment of the traffic generated by the existing use. Over a 12-hour period it was found that there were some 130 movements vehicle movements at the site entrance. The Transport Assessment goes on to state that trip rates have been obtained for private houses and apartments and a net traffic impact assessment has been undertaken. This demonstrates that over a 12-hour period there will be some 6 fewer vehicles on using the site entrance and egress. Therefore, the proposed development would not have any additional impact on the local highway network. The degree of activity is therefore considered to be broadly similar between the existing and proposed uses.

Purposes of including land within the Green Belt

- 6.19 There are 5 purposes listed in paragraph 134 of the NPPF. Of the 5 listed, it is considered that two are relevant, namely a) and c). Purpose (a) states that land is included within the Green Belt to check the unrestricted sprawl of large built-up areas. The built-up area of Banstead is location to the north of the site. This site is separated from the built up area and is surrounded by open Green belt protected land. There is a small pocket of residential development to the west. The proposed development would be concentrated on the footprint of exiting built development would not result in any spiral of building form beyond the confines of the previously developed land. In this regard, the proposals would not conflict with part (a).
- 6.20 Purpose (c) states that land is included within the Green Belt to assist in safeguarding the countryside from encroachment. The development would

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be contained on the existing footprint of development and would not encroach onto open land. In this regard, the proposals would not conflict with part (c).

- 6.21 In light of these comments, it is considered that the proposals would qualify as an exception under the terms of NPPF paragraph 145 (G) and would not comprise inappropriate development within the Green Belt. The proposals would therefore accord with Core Strategy Policy CS3 and with DMP Policy NHE5.

Design appraisal

- 6.22 DMP Policy DES1 relates to the design of new development and states that new development will be expected to be of a high quality design that makes a positive contribution to the character and appearance of its surroundings. The policy lists a number of criteria that would need to be met if a proposal is to be found acceptable. For example, development should promote and reinforce local distinctiveness and respect the character of the surrounding area, including positive physical characteristics of local neighbourhoods and the visual appearance of the immediate street scene and make use of high quality materials, landscaping and building detailing. Development should also incorporate appropriate landscaping to mitigate the impact, and complement the design, of new development, as well as protect and enhance natural features.
- 6.23 The removal of the modern additions to Banstead Place and the reconfiguration of the main house to a residential use of 12 flats has been carefully considered and will ensure that the historic interest of the building is retained. The proposed single storey additions to the southern single storey range and to the northern elevation would be in keeping with the character and appearance of the main house, would be subservient to the main building and are considered acceptable. The careful use of matching materials would ensure that the extensions appear as sympathetic additions to the building and would not detract from its historic interest. Conditions would be imposed to ensure that appropriate materials are used.
- 6.24 The proposals also seek planning permission for the erection of 8 terraced dwellings on the Garden Walk area to the east of the main building. This would comprise of two rows of terraced houses aligned perpendicular to the rear elevation of the main houses and each provided with front and rear gardens with a central communal landscaped amenity area. Each dwelling would be provided two floors of accommodation with the upper storey contained within a mansard style roof. Materials would include a grey brick with slate tiles and oak joinery.
- 6.25 The proposed location of the terraces reflects advice given at pre-application stage by the council and by English Heritage to ensure that the dwellings frame a re-instated formal lawn to the rear of the main building and allow views of the rear elevation. The scale of the buildings and the proposed use of materials would be subservient to the main house and deferential to its

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importance in the landscape. The proposals represent an improvement over the existing relationship of modern and original buildings on the site.

- 6.26 Within the walled garden area, the existing single and two storey buildings would be replaced by a total of 10 two storey buildings arranged in L-shapes, containing 7 x 2 bedroom and 3 x 3 bedroom dwellings. The proposed layout takes on board the advice given at pre-application stage by the Council and Historic England to reflect the historic layout of the former kitchen garden with a proposed perimeter path within the walls, a layout which reveals the most historic part of the garden walls and allows other paths to be reinstated and linked to the restored historic landscape. The removal of the car parking from the walled garden represents a positive benefit to the character and appearance of this part of the site.
- 6.27 The proposed palette of materials, which includes knapped flint and charred larch to the elevations and slate tiles to the roof, would be complementary to other buildings within and adjoining the walled garden and would provide an acceptable external appearance to the new buildings.
- 6.28 Within the stable yard, a number of outbuildings, including the Lodge are retained and converted a residential dwelling in the case of the Lodge, and to ancillary residential use for the other buildings, including bicycle and refuse storage, and the concierge's office.
- 6.29 In order to meet the car parking standards, a small number of trees (see below) are proposed for removal. The main area for parking would be located to the north of the main house and the site access. The area proposed for the main parking area was chosen a due to the limited impact on trees and in order to reduce the amount of car parking in front of the main house.
- 6.30 In conclusion, it is considered that the proposal would result in improvements to the character and appearance of the site. The removal of the unsympathetic modern additions and their replacement with sensitively designed dwellings, together with the careful restoration of the main building would result in significant heritage benefits which would preserve its character and the setting of an important building of special architectural and historic interest.

Heritage Impact

- 6.31 Banstead Place is a grade II* Listed Building in Banstead Conservation Area. There are a number of curtilage structures that have the same protection as the listed building, including the ha-ha ditch, kitchen garden, outbuildings, lodge etc. There is also a locally listed historic garden designation, which covers much of the site and associated parkland. Banstead Place is a house of mid-18th century appearance. The first reference to Banstead Place is in 1702. By 1783 it is described as an "excellent modern built brick dwelling house of 6 genteel rooms on a floor, adequate domestic offices, coach house,

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stabling, shrubbery and gardens with a detached farm-house, large barns and outbuildings.”

- 6.32 The Council’s Conservation and Heritage Officer states that it is worth noting the historic uses of the rooms in terms of the spatial order of Banstead Place. He states that the core of the house around the central entrance is where the principal rooms for the owners were situated. The historic use of the house consists of on the north side of the entrance hall and staircase, a double drawing room, with later conservatory to the north and on the south side of the entrance hall and staircase, a panelled library at the front and the dining room to the rear. Further to the south side were the Georgian kitchen with Venetian window and ancillary offices including towards the south east end, including the Servant’s Hall with the bell to exterior. Around 1900 a billiard room was added on the south west corner.
- 6.33 It is also noted that the main Georgian features in terms of joinery are the staircase and the panelled library, though skirting, dado rails and two fireplaces date from this period. The mid-18th century staircase was extended to the attic in the Regency period at which time the southern garden bay was added to the south of the original Georgian garden bay. In the 19th century the attic floor was added over the southern wing and connected to the existing Georgian attic over the centre of the house. A large nursery room was added on the south east side of this Victorian addition. There is a quantity of Victorian plasterwork in the main rooms, some of which appears to have been embellished from earlier plasterwork. Fireplaces have generally not survived. and the doors are currently boarded over.
- 6.34 In the grounds is the walled garden, the lodge (a former filtration plant and underground water reservoir, a rare feature, to reduce the chalkiness of the water), the Georgian coach house and flint outbuilding. The historic garden to the north consists of an 18th century wilderness Yew woodland and Victorian wooded garden in need of management, and to the east former parkland and ha-ha ditch. To the south is a walled garden and site of John Motteux’s pear orchard, who was a vice president of the (now Royal) Horticultural Society (and responsible for the unusual reservoir).
- 6.35 From the 1950’s a number of single storey flat roof buildings were added, of a pre-fabricated nature as part of the current Queen Elizabeth Foundation use. In the 1990’s the walled garden was development with accommodation in a classical style.
- 6.36 The key issue for the new proposal has been the size, scale and form of development in the kitchen garden, though there have been a considerable number of smaller issues, due to the size of the listed building and the number of features and buildings within its grounds.
- 6.37 Officers have undertaken discussions with the applicants with regards to other parts of the site which have included the conversion of the house in terms of detailing and subdivision, the car park locations, which has now been resolved and avoids the historic Yew trees, general historic garden

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issues, which can be covered by a Historic Garden Management Plan, the form of the Garden walk housing to east of Banstead Place, the conversion of the front lodge and its unusual former underground reservoir, and the retention of the Georgian roof above the south wing, which is now being retained.

- 6.38 In what is now referred to as the arboretum, historically the 18th century yew wilderness woodland, the Victorian wooded garden and associated features such as the ice house and pond. The area has suffered from neglect and colonisation of sycamore, and a Historic Garden Management Plan is needed to ensure how the garden will be managed and pruned back in to a reasonable condition. This may take 10 to 20 years of routine maintenance for lawns and ground cover to return as light conditions are improved with the woodland garden.
- 6.39 The following heritage policies apply. The Planning (Listed Buildings & Conservation Areas) Act 1990 requires a local planning authority to have special regard to the desirability of preserving a listed building or its setting or any features of special architectural or historic interest which it possesses. It also requires a local planning authority to have special regard to the desirability of preserving or enhancing the character or appearance of that area. The NPPF Part 16. "Conserving and enhancing the historic environment" considers Statutory Listed Buildings and Conservation Areas to be designated heritage assets. Whilst the historic garden listings are generally local, in this case the designation is within the Conservation Area, and curtilage and setting of the statutory listed buildings so would fall within these designated heritage asset considerations.
- 6.40 The applicant has described the significance of the heritage assets as required under NPPF paragraph 189 and the local planning authority has identified the particular significance of the heritage asset. In considering the impact of a proposed development, under paragraph 193, on the significance of a designated heritage asset, great weight has been given to the asset's conservation and harm has been considered under paragraph 194 to 196. It is considered that the any harm is less than substantial harm to the significance of a designated heritage asset, and this harm has been weighed against the public benefits of the proposal. In accordance with paragraph 200, the local planning authority has looked at the opportunities for the development to enhance or better reveal the significance of the Conservation Area and setting of the heritage asset. Reigate and Banstead Policy CS4: Valued townscapes and the historic environment and Policy NHE9: Heritage assets have similar considerations to the NPPF and the Act.
- 6.41 The negotiations have been complex due to the large size of the listed building and its important II* listing. There are also a large number of curtilage features in the grounds including the kitchen garden wall, the ha-ha ditch, the former coach house and former lodge and underground reservoir, as well as the wilderness garden to the north, now known as an arboretum.

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- 6.42 There are a number of positive elements in the scheme as well as neutral elements, and it is concluded the proposals are acceptable from a conservation viewpoint as they preserve the Listed Building, its setting and the Conservation Area. The demolition of the flat roof extensions is welcome, as well as the opening up of circulation within the site. The demolition of the northern single storey extension to the Banstead Place will be particularly welcome. Residential subdivision of a Georgian house is always a challenging process, but subdivision of principal rooms has been minimised, and there is the opportunity for greater clarity, from the research process, of the former country house uses becoming more legible, such as the library, billiard room and kitchen, subject to submission of suitable details.
- 6.43 New development has been kept to the rear of the property and discussions have focused on reducing the scale of the proposals. There has been commitment to managing the arboretum to the north, though a Historic Garden Management Plan will be required to gradually bring this wooded area back into good management. There is a need for repairs to the kitchen garden walls and the ha-ha ditch which has been committed to by the applicant and secured as part of the development.
- 6.44 In conclusion the development has preserved the heritage asset and enhanced certain elements. The Council has given the required great weight to the conservation of the heritage assets, and it is considered that harm has been minimised by careful consideration of the impact on the historic fabric and reduction of the scale of the proposed development, which has removed initial concerns about the impact on the setting on the listed building and conservation area. The use of appropriate high quality materials, design and detailing will be further ensured by condition. It is hoped that the development will help to secure the long term viable use and sustainable future of Banstead Place, in a manner consistent with its conservation, and that the associated development now has an acceptable relationship to Banstead Place as a heritage asset, and character of the surrounding area.

Highway matters

- 6.45 The Surrey County Council Highways team has reviewed the proposals and commented on the originally submitted plans. As originally submitted, a new access to Park Road was proposed to facilitate a one way system throughout the site (since deleted from the proposals). Park Road is subject to a 30mph speed limit, and in accordance with Manual for Streets an access onto a 30mph road is expected to provide visibility splays of 2.4m 'x' distance by 43m 'y' distance. However, the developer has carried out a speed survey to determine the actual speed of traffic along this section of Park Road. It has been confirmed that the highest recorded 85th percentile speed was 31mph in the southbound direction and 32.5mph in the northbound direction. These speeds have been used to calculate the required visibility splays from the proposed new access. A plan has been submitted (ITB14222-GA-010 Rev B) which demonstrates that the required visibility splays in line with these recorded speeds are achievable. These splays of 2.4m by 44.9m and 48.1m exceed the requirements for an access onto a road subject to a 30 mph

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speed limit. Additionally, these recorded speeds are below 37mph, confirming that Manual for Streets principles are appropriate for visibility splay calculations.

- 6.46 The application proposes 2 x 1 bed flats, 8 x 2 bed flats, 3 x 3 bed flats and 5 x 2 bed houses, 5 x 3 bed houses and 8 x 4 bed houses. In accordance with the Reigate and Banstead Development Management Plan parking standards the above development, considered to be in a low accessibility area would require a total of 64 car parking spaces plus 7 visitor car parking spaces (total of 71 on site car parking spaces). The revised proposals now include 71 on site car parking spaces. As the parking to be provided meets the minimum requirements for a development in a low accessibility area it is not considered that there will be a shortfall in car parking provision and therefore the CHA raises no objection to the revised proposals based on car parking provision.

Trees

- 6.47 The application is supported by a Tree Survey and an Arboricultural Report which sets out the tree removal and other works to trees that would be undertaken in order to facilitate the proposed development. The report confirms that 4 Category B trees, 48 category C trees and 18 Category U trees would be removed, together with 5 Category C groups and 1 Category C group partially removed.
- 6.48 The Council's Tree Officer carried out a review of the proposals as originally submitted and stated that it was not clear whether the tree survey was based on a topographical survey. He stated that if it wasn't, locating the car park within the garden may result in the loss of more trees than identified in the report. He stated that the location of the car park needed to be reconsidered as the current location requires the removal of two yews (T13 and T14), although they may be classed as low grade specimens, they are part of the 18th century yew woodland garden and therefore have historical significance. Furthermore, without detailed levels information, he raised concerns as to whether the tie-in of the drive way could be achieved without resulting in the unacceptable loss of roots from the neighbouring Yews affecting their stability. The car parking bays should be located elsewhere which is likely to result in the removal of less significant trees.
- 6.49 With reference tree survey itself, in particular tree nos. 98 to 191, only general comments had been provided about them and so it was not possible to identify their species/ general condition/ safe life expectancy. As the garden is of historical importance identifying individual trees will be an important part of the management plan for the restoration of the garden.
- 6.50 The proposed orchard in the south east corner of the site would be situated next to a mixed group of trees (G3) which are shown to be retained. However, the lack of detailed information may affect the long term viability of the orchard, and so more pragmatic approach is required i.e. large scale removal. The proposed landscape masterplan is to retain and enhance the woodland by actively managing the area to prevent invasive species from

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becoming established, but from the current information supplied it is not clear how this will be done without protecting trees of historical significance to the gardens.

- 6.51 In response to these comments, the applicants submitted an updated arboricultural report. The Tree Officer has confirmed that this has addressed his original concerns, this being the lack of information regarding the trees to the north of the site and retaining trees that are historical significance T13 and T14. He states that the woodland management plan identified trees to be removed that will enable the long term objectives to restore the garden to be met. The report has identified the need for the location of the underground services to be provided. In order to ensure this information is secured a finalised tree protection condition is recommended in the event that planning permission is to be granted.

Landscape Strategy

- 6.52 The landscape proposals are intended to enhance the setting of the Grade II* Listed Main House whilst meeting the needs of the proposed residential development. Historic circulation routes would be reinstated, and the character of the Walled Garden, Arboretum and Orchard would be enhanced. Restoration of the Ha-ha will enable views from the Main across the wider landscape; reintroducing the connection between the house and the landscape setting. New landscaping and planting to reflect historic species within the existing woodland and walled former kitchen garden. Works to the Arboretum include the shrub layer planted to reflect Georgian and Victorian species. In the event that planning permission is granted, a condition is recommend requiring the further submission of fully detailed landscaping and planting proposals.

Energy and Sustainability

- 6.53 The application is supported by an Energy and Sustainability Statement. This states that a feasibility study was carried out to determine the energy strategy for the proposed development. It was considered that the provision of renewable energy technologies such as photovoltaics, solar thermal, biomass and wind turbines were not deemed feasible solutions due to their harmful impact (visual and noise) on the landscape and that they would undermine the intrinsic character and beauty of the area and listed building.
- 6.54 Accordingly, the proposals incorporate a range of passive and active design measures that will reduce the energy demand for space conditioning, hot water and lighting. The regulated carbon emissions savings achieved for the new building dwellings would be 8.2% compared to Building Regulations baseline. The proposals for the refurbishment of the main house incorporate a range of active design measures that will reduce the energy demand for space conditioning, hot water and lighting. The regulated carbon emissions savings achieved are stated as 18.4% compared to the existing building baseline.

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- 6.55 Given the constraints of the site and the retained listed building, it is considered that the provision of renewable energy technology could be harmful to the character and historic interest of the site and the passive and active measures proposed within the fabric and fittings of the dwellings would be sufficient to meet the requirements of Core Strategy Policy CS11 and DMP Policy CCF1.

Impact on bio-diversity

- 6.56 The application is supported by an Ecological Impact Assessment. The Report noted that there are no statutory or non-statutory designations on the site. The Assessment found that the site contained introduced shrubs, dense shrub and woodland that had a high potential to support breeding birds. There was tough semi-improved grassland, tall ruderals and dense scrub within the walled garden which had a low potential to support reptile species and hedgehogs.
- 6.57 Bat surveys were carried out on the site and a number of trees were identified as having the potential to support roosting bats. No bats were recorded emerging from any buildings non the site and no badger setts or signs of badgers were seen on the site.
- 6.58 The Assessment goes on to recommend a number of further surveys for nesting birds and bats be undertaken prior to the commencement of development on the site as well as a range of mitigation measures. In the event that permission is granted, a condition is recommended to ensure that the recommendations of the Ecological Assessment are undertaken in full.

Housing Mix

- 6.59 DMP Policy DS4 relates to Housing Mix and requires that on all new residential developments should provide homes of an appropriate type, size and tenure to meet the needs of the local community. On sites of 20 homes or more, at least 30% of market housing should be provided as smaller (one and two bedroom) homes and at least 30% of market housing must be larger (three+ bedroom) homes.
- 6.60 In this case, an appropriate mix of units is provided. Of the 31 units proposed 55% would be provided as smaller units, whilst 45% would be provided as larger units.

Neighbour amenity

- 6.61 The nearest existing residential properties to the site are located to the west of the walled garden. Adjoining the western boundary of the walled garden are buildings associated with Place Farm, including small commercial facilities. The proposed dwellings to be located within the walled garden would be closest to these properties. However, due to their careful design and location, and the retention of the wall on the boundary and adjoining buildings, the amenities of neighbouring properties would not be affected.

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- 6.62 Further to the west on the opposite side of Park Road is The Mint Public house and dwellings in Park Road and Mint Road. There would be good separation to these properties resulting in a limited impact from the development on their amenities.
- 6.63 With regards to the quality of the accommodation proposed, the individual dwelling units have been designed to comply with the nationally describe space standards. A Daylight and Sunlight study has been submitted which confirms that sufficient daylight and sunlight will be received by all proposed dwellings within the development. An overshadowing assessment has also been carried out which indicated that overshadowing of outdoor space associated with the proposals is minimal. Additionally, overshadowing at existing dwellings is also minimal and does not occur as a result of the proposals. As such, overshadowing is not considered to be significant.
- 6.64 Each dwelling would have access to either private or communal amenity space and to allocated parking. Adequate provision is made for effuse storage and collection and to cycle parking.

Flooding and Drainage

- 6.65 The site is located within Flood Zone 1 and is at low risk from flooding. The application is supported by a Flood Risk Assessment which confirms that changes in flood risk as a result of climate change have been considered in line with national guidance for the lifetime of the development. It is concluded that climate change is not anticipated to significantly alter the risk of flooding at this Site. Furthermore, an increase in the intensity of rainfall as a result of climate change has been included in surface water drainage design.
- 6.66 Foul water from the Site will discharge to the Thames Water foul water network via gravity, connecting to the existing network of sewers beneath Park Road. Surface water runoff will be managed within the site for up to and including the 1 in 100 annual probability event including a 40% climate change uplift. Based on the underlying geology, and the presence of existing infiltration features at this Site, traditional infiltration techniques are deemed to be viable. It is therefore proposed that surface water runoff from the site will be infiltrated to ground via soakaways.

Affordable Housing

- 6.67 DMP Policy DES6 relates to affordable housing and states that the Council will negotiate affordable housing provision and contributions taking into account the specifics of the site, including financial viability. The policy states that on all developments providing 11 or more homes, 30% of the homes on the site should be affordable housing.
- 6.68 In support of the proposals, the applicants have submitted a viability appraisal (by ULL Property) which indicates that the scheme cannot viably support any affordable housing. The Viability Appraisal has been subject to independent

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review by both the Council's external consultants and by the former Planning Policy Manager. Following the provision of additional information relating to benchmark land values and build costs, it has been concluded that the proposed development would not be able to support the provision of any affordable housing due to the viability of the proposed development and in particular the restoration costs of the heritage assets.

Community Infrastructure Levy (CIL)

- 6.69 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, road, public transport and community facilities which are needed to support new development. This development would be CIL liable and the exact amount would be determined and collected after the grant of planning permission.

CONDITIONS – 8a – 19/00990/F

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Drawing Title	Drawing No.	Revision	Date
Location Plan	10_000	P2	04.03.2019
Existing site plan	10_001	P1	22.02.2019
Existing site sections	10_200	P1	22.02.2019
Demolition site plan	12_001	P3	07.01.2020
Proposed site plan	20_001	P3	07.01.2020
Proposed site parking plan	20_002	P3	07.01.2020
Proposed site sections	20_000	P4	07.01.2020
Existing basement plan	A_EX_099	P2	04.03.2019
Existing ground floor plan	A_EX_100	P2	04.03.2019
Existing first floor plan	A_EX_101	P2	04.03.2019
Existing second floor plan	A_EX_102	P2	04.03.2019
Existing roof plan	A_EX_102	P2	04.03.2019
Existing SW elevations	A_EX_300	P2	04.03.2019
Existing NE elevations	A_EX_301	P2	04.03.2019
Existing SE & NW elevations	A_EX_302	P2	04.03.2019
Demolition basement plan	A_12_099	P2	04.03.2019
Demolition ground floor plan	A_12_100	P3	23.10.2019
Demolition first floor plan	A_12_101	P3	23.10.2019
Demolition second floor plan	A_12_102	P3	23.10.2019

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Demolition roof plan	A_12_103	P3	23.10.2019
Demolition SW elevations	A_12_300	P3	23.10.2019
Demolition NE elevations	A_12_301	P3	23.10.2019
Demolition SE & NW elevs	A_12_302	P3	23.10.2019
Proposed site plan; main house	A_20_001	P4	07.01.2020
Proposed basement plan	A_20_099	P2	04.03.2019
Proposed ground floor plan	A_20_100	P4	07.01.2020
Proposed first floor plan	A_20_101	P3	23.10.2019
Proposed second floor plan	A_20_102	P3	23.10.2019
Proposed roof plan	A_20_103	P3	23.10.2019
Proposed sections	A_20_200	P3	23.10.2019
Proposed SW elevations	A_20_300	P3	23.10.2019
Proposed NE elevations	A_20_301	P3	23.10.2019
Proposed SE & NW elevs	A_20_302	P3	23.10.2019
Conservatory elevations	A_31_400	P3	23.10.2019
A.GF.06 elevations	A_31_401	P3	23.10.2019
Proposed site Plan – Garden Walk	B_20_001	P4	07.01.2020
Proposed ground floor plan	B_20_100	P3	23.10.2019
Proposed first floor plan	B_20_101	P3	23.10.2019
Proposed roof plan	B_20_102	P3	23.10.2019
Proposed sections	B_20_200	P3	23.10.2019
Proposed elevations	B_20_300	P3	23.10.2019
Front elevation entrance	B_31_400	P2	23.10.2019
Front elevations section	B_31_401	P2	23.10.2019
Proposed site plan – Walled garden	C_20_001	P4	07.01.2020
Proposed ground floor plan 1	C_20_100	P4	07.01.2020
Proposed ground floor plan 2	C_20_101	P3	07.01.2020
Proposed first floor plan 1	C_20_102	P3	07.01.2020
Proposed first floor plan 2	C_20_103	P3	07.01.2020
Proposed roof plan 1	C_20_105	P3	07.01.2020
Proposed roof plan 2	C_20_106	P3	07.01.2020
Proposed sections AA BB CC	C_20_200	P3	07.01.2020
Proposed sections DD EE FF	C_20_201	P3	07.01.2020
Proposed sections GG HH	C_20_202	P3	07.01.2020
Proposed SW elevations	C_20_300	P4	07.01.2020
Proposed NW elevations	C_20_301	P3	07.01.2020
Proposed NE elevations	C_20_302	P3	07.01.2020
Proposed SE elevations	C_20_303	P4	07.01.2020
House type 1 entrance	C_31_400	P2	23.10.2019
House type 3 entrance	C_31_402	P3	07.01.2020
Existing plans – The Lodge	D_EX_100	P2	04.03.2019
Existing Plans – The Stables	D_EX_101	P2	04.03.2019
Existing sections	D_EX_200	P1	22.02.2019
Existing elevations	D_EX_300	P1	22.02.2019
Demolition Plans - Lodge	D_12_100	P3	07.01.2020
Demolition Plans – Stables	D_12_101	P2	04.03.2019
Proposed plans – Lodge	D_20_100	P4	07.01.2020

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Proposed Plans – Stables	D_20_101	P2	04.03.2019
Proposed sections	D_20_200	P2	23.10.2019
Proposed elevations	D_20_300	P2	23.10.2019
Landscape Strategy	P.1436.103	H	07.01.2020
Tree Survey Plan	AR-3855-appD TPP-19001		23.10.2019
Tree Protection Plan	AR-3855-TSP02		23.10.2019
Woodland Management Plan	AR-3855-WMP- 01		23.10.2019
Swept path analysis – Fire Tender	ITB14222-GA- 005	H	08.01.2020
Swept path analysis – Refuse vehicle	ITB14222-GA- 006	F	08.01.2020
Potential Site Access Arrangements	ITB14222-GA- 010	B	08.01.2020
Swept path analysis – Refuse vehicle	ITB14222-GA- 012	A	08.01.2020

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. No development shall take place above slab level until written details of the materials, including paving, to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

4. All brickwork shall be in handmade Flemish bond brick including stringcourses. Soldier brick arches, headers or stringcourses are not permitted.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the visual amenities of the site and locality with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

5. All rooflights shall be black painted metal conservation rooflights with a single vertical glazing bar.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the visual amenities of the site and locality with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

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6. Details of the doors, vents and windows, including how they open, for the new housing, including the Garden walk houses and the Kitchen Garden houses, shall be submitted to and approved in writing before slab level is reach.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the visual amenities of the site and locality with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

7. Details of the new refuse, wheelie bin and cycle stores shall be submitted to and approved in writing by the Local Planning Authority before their installation.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the visual amenities of the site and locality with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

8. No development above ground floor slab level shall occur for the Kitchen Garden housing until an on-site sample wall has been prepared for and approved in writing by the Local Planning Authority showing how the corners and window and door surrounds will be constructed for the Kitchen garden houses. The flint shall be of naturally laid flint, not blocks, and of a mix of knapped and knapped flint of ratio, colour and size to match existing flint work on the site, with a brush mortar finish of mortar width to match existing.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the visual amenities of the site and locality with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

9. No development above ground floor slab level shall occur until details have been submitted to and approved in writing by the Local Planning Authority for the entrance bollard, firepath and turning area treatment in terms of the establishment of a natural lawn with geotextile reinforcement in the Kitchen Garden area.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the visual amenities of the site and locality with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE9.

10. No development shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

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Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

11. No development shall commence including demolition and or groundworks preparation until a detailed, scaled Tree Protection Plan (TPP) and the related Arboricultural Method Statement (AMS) is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to scale on the TPP, including the installation of service routings. The AMS shall also include a pre-start meeting, supervisory regime for their implementation & monitoring with an agreed reporting process to the LPA. All works shall be carried out in strict accordance with these details when approved.

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies DES1 and NHE3 of the Reigate and Banstead Development Management Plan 2019.

Informative:

The use of a suitably qualified arboricultural consultant is essential to provide acceptable submissions in respect of the arboricultural tree condition above. All works shall comply with the recommendations and guidelines contained within British Standard 5837

12. No development above slab level shall commence on site until a scheme for the landscaping of the site including the retention of existing landscape features has been submitted to and approved in writing by the LPA. Landscaping schemes shall include details of hard and soft landscaping, including any tree removal/retention, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation and management programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or within the first planting season following completion of the development hereby approved or in accordance with a programme agreed in writing with the local planning authority.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, shrubs of the same size and species.

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Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE3.

Informative:

The use of a landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant condition. The planting of trees and shrubs shall be in keeping with the character and appearance of the locality.

13. Before works commence, a Historic Garden Management Plan for the arboretum shall be submitted to and approved in writing by the Local Planning Authority to consider how the western Yew wilderness garden, the eastern wooded lawn, and the former northern orchard and pond shall be managed including a phased management for a ten year period. Arboricultural and ecological reports should be adjusted to reflect the findings of the Historic Garden Management Plan to ensure consistency in approach.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Development Management Plan 2019 policies DES1, NHE3 and NHE9.

14. Before the pear orchard is planted in the south east corner of the site, details shall be submitted to and approved of a Historic Garden Management Plan for the pear orchard, including research into Motteux's orchards and specification of English and French pear species appropriate to the period of Motteux original pear orchard.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Development Management Plan 2019 policies DES1, NHE3 and NHE9

15. No development shall commence until a Construction Transport Management Plan, to include details of:
 - (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) HGV deliveries and hours of operation
 - (f) measures to prevent the deposit of materials on the highway
 - (g) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused
 - (h) on-site turning for construction vehicles has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

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Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policies DES1 and TAP1 Parking, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

16. No part of the development shall be first occupied unless and until the proposed modified vehicular access to Park Road has been constructed and provided with tactile paving and visibility zones in general accordance with the approved plan (ITB14222-GA-010B) and thereafter the visibility zones shall be kept permanently clear of any obstruction over 0.6m high.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policies DES1 and TAP1 Parking, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

17. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning areas shall be retained and maintained for their designated purposes.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policies DES1 and TAP1 Parking, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

18. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be completed before the occupation of the development hereby permitted.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

19. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, (or any Order revoking and re-enacting that Order with or without modification), no first floor windows, dormer windows or rooflights other than those expressly authorised by this permission shall be constructed.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

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20. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no works permitted by Classes A, B, C, D or F of Part 1 of the Second Schedule of the 2015 Order shall be constructed (other than those expressly authorised by this permission) without an approved application.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

21. The development hereby approved shall not be first occupied unless and until facilities have been provided in accordance with the approved plans for the secure parking of bicycles within the development site, and thereafter shall be provided, retained and maintained to the satisfaction of the Local Planning Authority.

Reason: The condition above is required in recognition of Section 9 “Promoting Sustainable Transport” in the National Planning Policy Framework 2019 to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17.

22. The development hereby approved shall not be occupied unless and until each of the proposed flats and houses are provided with a fast charge socket (current minimum requirements - 7 kw Mode 3 with Type 2 connector - 230v AC 32 Amp single phase dedicated supply) in accordance with a scheme to be submitted and approved in writing by the Local Planning Authority and thereafter retained and maintained to the satisfaction of the Local Planning Authority.

Reason: The condition above is required in recognition of Section 9 “Promoting Sustainable Transport” in the National Planning Policy Framework 2019 to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17.

23. The development hereby approved shall not be occupied unless and until two of the proposed visitor/ concierge parking spaces are provided with a fast charge socket (current minimum requirements - 7 kw Mode 3 with Type 2 connector - 230v AC 32 Amp single phase dedicated supply) in accordance with a scheme to be submitted and approved in writing by the Local Planning Authority and thereafter retained and maintained to the satisfaction of the Local Planning Authority.

Reason: The condition above is required in recognition of Section 9 “Promoting Sustainable Transport” in the National Planning Policy Framework 2019 to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17.

24. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and

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approved in writing by the Local Planning Authority. The Statement shall detail how the development will:

- a) Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day
- b) Achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

25. All dwellings within the development hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:
- a) A broadband connection accessed directly from the nearest exchange or cabinet
 - b) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason: To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

26. The development shall not be occupied until the developer has provided wheeled refuse bins conforming to British Standard BSEN840 and communal paper/card and mixed can recycling bins are provided in addition to storage facilities for the bins in accordance with the plans approved by the Local Planning Authority.

Reason: To provide adequate waste facilities in the interests of the amenities of the area and to encourage the recycling of domestic refuse in accordance with Reigate and Banstead Development Management Plan 2019 policy DES5.

27. Prior to commencement of development a written comprehensive environmental desktop study report is required to identify and evaluate possible on and off site sources, pathways and receptors of contamination and enable the presentation of all plausible pollutant linkages in a preliminary conceptual site model. The study shall include relevant regulatory consultations such as with the Contaminated Land Officer and be submitted to the Local Planning Authority and is subject to the approval in writing of the

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Local Planning Authority and any additional requirements that it may specify. The report shall be prepared in accordance with the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10, Reigate and Banstead Borough Council Development Management Plan policy DES9, and the provisions of the NPPF 2019.

28. Prior to the commencement of development, in follow-up to the environmental desktop study report, a contaminated land site investigation proposal, detailing the extent and methodologies of sampling, analyses and proposed assessment criteria required to enable the characterisation of the plausible pollutant linkages identified in the preliminary conceptual model, shall be submitted to the Local Planning Authority. This is subject to the written approval in writing of the Local Planning Authority, and any additional requirements that it may specify, prior to any site investigation being commenced on site. Following approval, the Local Planning Authority shall be given a minimum of two weeks written notice of the commencement of site investigation works.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10, Reigate and Banstead Borough Council Development Management Plan policy DES9, and the provisions of the NPPF 2019.

29. Prior to commencement of the development, a contaminated land site investigation and risk assessment, undertaken in accordance with the site investigation proposal as approved that determines the extent and nature of contamination on site and is reported in accordance with the standards of DEFRA's and the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175, shall be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. If applicable, ground gas risk assessments should be completed in line with CIRIA C665 guidance.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10, Reigate and Banstead Borough Council Development Management Plan policy DES9, and the provisions of the NPPF 2019.

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30. A. Prior to commencement of the development a detailed remediation method statement should be produced that details the extent and method(s) by which the site is to be remediated, to ensure that unacceptable risks are not posed to identified receptors at the site and details of the information to be included in a validation report, has been submitted to and approved in writing by the Local Planning Authority, and any additional requirements that it may specify, prior to the remediation being commenced on site. The Local Planning Authority shall then be given a minimum of two weeks written notice of the commencement of remediation works.

B. Prior to occupation, a remediation validation report for the site shall be submitted to the Local Planning Authority in writing. The report shall detail evidence of the remediation, the effectiveness of the remediation carried out and the results of post remediation works, in accordance with the approved remediation method statement and any addenda thereto, so as to enable future interested parties, including regulators, to have a single record of the remediation undertaken at the site. It should also include any plan (a “long term monitoring and maintenance plan”) for longer term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan, if appropriate, and for the reporting of this to the LPA. Any longer term monitoring and maintenance shall be implemented as approved.

Should specific ground gas mitigation measures be required to be incorporated into a development the testing and verification of such systems should be in accordance with CIRIA C735 guidance document entitled ‘Good practice on the testing and verification of protection systems for buildings against hazardous ground gases’ and British Standard BS 8285 Code of Practice for the design of protective measures for methane and carbon dioxide ground gases for new buildings.

Reason: To demonstrate remedial works are appropriate and demonstrate the effectiveness of remediation works so that the proposed development will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10, Reigate and Banstead Borough Council Development Management Plan policy DES9, and the provisions of the NPPF 2019.

31. Unexpected ground contamination: Contamination not previously identified by the site investigation, but subsequently found to be present at the site shall be reported to the Local Planning Authority as soon as is practicable. If deemed necessary development shall cease on site until an addendum to the remediation method statement, detailing how the unsuspected contamination is to be dealt with, has been submitted in writing to the Local Planning Authority. The remediation method statement is subject to the written approval of the Local Planning Authority and any additional requirements that it may specify.

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Note: Should no further contamination be identified then a brief comment to this effect shall be required to discharge this condition.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10, Reigate and Banstead Borough Council Development Management Plan policy DES9, and the provisions of the NPPF

32. The development hereby permitted shall not commence until details of the design of a surface water drainage scheme has been submitted to and approved in writing by the local planning authority. The design must satisfy the SuDS Hierarchy and be compliant with the national Non-Statutory Technical Standards for SuDs, NPPF and Ministerial Statement on SuDs. The required drainage details shall include:

- a) Evidence that there is no risk of contamination through the infiltration SuDs
- b) Evidence that the proposed final solution will effectively manage the 1 in 30 and 1 in 100 (+40% allowance for climate change) storm events and 10% allowance for urban creep, during all stages of the development (Pre, Post and during), associated discharge rates and storage volumes shall be provided using a maximum discharge rate of 37.8l/s.
- c) Detailed drainage design drawings and calculations to include: a finalised drainage layout detailing the location of drainage elements, pipe diameters, levels and long and cross sections of each element including details of any flow restrictions and maintenance / risk reducing features (silt traps, inspections chambers etc)
- d) Details of how the drainage system will be protected during construction and how runoff (including any pollutants) from the development site will be managed before the drainage system is operational
- e) Details of drainage management responsibilities and maintenance regimes for the drainage system
- f) A plan showing exceedance flows (ie during rainfall greater than design events or during blockage) and how property on and offsite will be protected. This should include details of how surface water run-off entering the site from the bunded northern boundary will be intercepted.

Reason: To ensure the design meets the technical standards for SuDs and the final drainage design does not increase flood risk on or off site in accordance with Policy Ut4 of the Borough Local Plan 2005, policy CS10 of the Core Strategy 2014, policies DES9 and CCF2 of the Development Management Plan 2019 and the 2019 NPPF.

33. Prior to the first occupation of the development, a verification report carried out by a qualified drainage engineer must be submitted to and approved by the Local Planning Authority. This must demonstrate that the drainage system has been constructed as per the agreed scheme (or detail any minor variations), provide the details of the management company and state the

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national grid reference of any key drainage elements (surface water attenuation devices / areas, flow restriction devices and outfalls).

Reason: To ensure that the Sustainable Drainage System has been constructed as agreed to the National Non-Statutory Technical Standards for SuDS and to prevent flooding with regards to policy Ut4 of the Reigate and Banstead Borough Local Plan 2005, policy CS10 of the Core Strategy 2014 and policy CCF2 of the Development Management Plan 2019.

34. The development hereby permitted shall be implemented in accordance with the recommendations, avoidance and mitigation measures identified in the Ecological Impact Assessment by Simlaw Ecology (dated November 2018) at section 5. Any variation shall be agreed in writing by the Local Planning Authority before such change is made. All ecological enhancement shall be completed prior to first occupation of the development. This condition will be discharged on receipt of a letter from the project ecologist stating that the mitigation has been completed according to the recommendations.

Reason: To ensure that the development would not harm wildlife or protected species and deliver a biodiversity enhancement in accordance with Policy Pc2G of the Reigate and Banstead Borough Local Plan 2005, Policy NHE2 of the Development Management Plan, Natural England standing advice and the provisions of the NPPF.

35. No development shall commence until an Employment and Skills Plan has been submitted to and approved in writing by the Local Planning Authority. The Plan shall detail how the development will promote local training and employment opportunities during construction and include:
- Measures to ensure the developer and contractors work directly with local employment and training agencies;
 - Targets for employment of local labour
 - Targets for work experience and apprenticeships
 - Measures for monitoring and reporting outcomes against the plan to the Local Planning Authority at appropriate intervals during the development.

The development shall be carried out in accordance with the approved plan unless otherwise agreed in writing with the Local Planning Authority.

Reason: To ensure the development promotes local training and employment opportunities with regard to Policy CS5 of the Reigate & Banstead Core Strategy 2014 and Policy EMP5 of the Reigate & Banstead Development Management Plan 2019.

Informative: In accordance with Policy EMP5 of the Development Management Plan, it is expected that the Employment and Skills Plan will seek to achieve at least 20% of the jobs and apprenticeship opportunities created by the construction of the development for local residents of the borough of Reigate & Banstead.

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36. Prior to the installation of any external lighting on the site, full details shall be submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented on the site and maintained as such thereafter.

Reason: To ensure that any bio-diversity interest is protected and promoted to accord with Reigate and Banstead Local Plan Development Management Plan 2019 policy NHE2.

37. No development shall take place, until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted to and approved in writing by the Local Planning Authority.

Reason: The site covers an area in which it is considered necessary to preserve for future reference any archaeological information before it is destroyed by the development with regard to the Reigate and Banstead Development Management Plan 2019 policy NHE9.

INFORMATIVES – 8a – 19/00990/F

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, to contact the Council's Neighbourhood Services team to confirm the number and specification of recycling and refuse bins that are required to be supplied by the developer. The Council's Neighbourhood Services team can be contacted on 01737 276292 or via the Council's website at http://www.reigate-banstead.gov.uk/info/20085/planning_applications/147/recycling_and_waste_developers_guidance
3. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;

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- (e) There should be no burning on site;
- (f) Only minimal security lighting should be used outside the hours stated above; and
- (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

4. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.
5. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses. This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate. If no application is received the Council has the authority to allocate an address. This also applies to replacement dwellings. If you are building a scheme of more than 5 units please also supply a CAD file (back saved to 2010) of the development based on OS Grid References. Full details of how to apply for addresses can be found http://www.reigatebanstead.gov.uk/info/20277/street_naming_and_numbering
6. The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see <http://www.surreycc.gov.uk/roads-and->

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transport/road-permits-and-licences/the-traffic-management-permit-scheme. The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991. Please see www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/floodingadvice.

7. The developer is advised that as part of the detailed design of the highway works required by the above conditions, the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.
8. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage
9. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
10. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types.

CONDITIONS – 8b – 19/00991/F

1. The development for which Listed Building Consent is hereby permitted shall be begun before the expiration of three years from the date of this consent.

Reason: To comply with Section 18(1)(a) of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by Section 52 (4) of the Planning and Compulsory Purchase Act 2005.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Drawing Title	Drawing No.	Revision	Date
Location Plan	10_000	P2	04.03.2019
Existing site plan	10_001	P1	22.02.2019
Existing site sections	10_200	P1	22.02.2019
Demolition site plan	12_001	P3	07.01.2020

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Proposed site plan	20_001	P3	07.01.2020
Proposed site parking plan	20_002	P3	07.01.2020
Proposed site sections	20_000	P4	07.01.2020
Existing basement plan	A_EX_099	P2	04.03.2019
Existing ground floor plan	A_EX_100	P2	04.03.2019
Existing first floor plan	A_EX_101	P2	04.03.2019
Existing second floor plan	A_EX_102	P2	04.03.2019
Existing roof plan	A_EX_102	P2	04.03.2019
Existing SW elevations	A_EX_300	P2	04.03.2019
Existing NE elevations	A_EX_301	P2	04.03.2019
Existing SE & NW elevations	A_EX_302	P2	04.03.2019
Demolition basement plan	A_12_099	P2	04.03.2019
Demolition ground floor plan	A_12_100	P3	23.10.2019
Demolition first floor plan	A_12_101	P3	23.10.2019
Demolition second floor plan	A_12_102	P3	23.10.2019
Demolition roof plan	A_12_103	P3	23.10.2019
Demolition SW elevations	A_12_300	P3	23.10.2019
Demolition NE elevations	A_12_301	P3	23.10.2019
Demolition SE & NW elevs	A_12_302	P3	23.10.2019
Proposed site plan; main house	A_20_001	P4	07.01.2020
Proposed basement plan	A_20_099	P2	04.03.2019
Proposed ground floor plan	A_20_100	P4	07.01.2020
Proposed first floor plan	A_20_101	P3	23.10.2019
Proposed second floor plan	A_20_102	P3	23.10.2019
Proposed roof plan	A_20_103	P3	23.10.2019
Proposed sections	A_20_200	P3	23.10.2019
Proposed SW elevations	A_20_300	P3	23.10.2019
Proposed NE elevations	A_20_301	P3	23.10.2019
Proposed SE & NW elevs	A_20_302	P3	23.10.2019
Conservatory elevations	A_31_400	P3	23.10.2019
A.GF.06 elevations	A_31_401	P3	23.10.2019
Proposed site Plan – Garden Walk	B_20_001	P4	07.01.2020
Proposed ground floor plan	B_20_100	P3	23.10.2019
Proposed first floor plan	B_20_101	P3	23.10.2019
Proposed roof plan	B_20_102	P3	23.10.2019
Proposed sections	B_20_200	P3	23.10.2019
Proposed elevations	B_20_300	P3	23.10.2019
Front elevation entrance	B_31_400	P2	23.10.2019
Front elevations section	B_31_401	P2	23.10.2019
Proposed site plan – Walled garden	C_20_001	P4	07.01.2020
Proposed ground floor plan 1	C_20_100	P4	07.01.2020
Proposed ground floor plan 2	C_20_101	P3	07.01.2020
Proposed first floor plan 1	C_20_102	P3	07.01.2020
Proposed first floor plan 2	C_20_103	P3	07.01.2020
Proposed roof plan 1	C_20_105	P3	07.01.2020
Proposed roof plan 2	C_20_106	P3	07.01.2020
Proposed sections AA BB CC	C_20_200	P3	07.01.2020

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Proposed sections DD EE FF	C_20_201	P3	07.01.2020
Proposed sections GG HH	C_20_202	P3	07.01.2020
Proposed SW elevations	C_20_300	P4	07.01.2020
Proposed NW elevations	C_20_301	P3	07.01.2020
Proposed NE elevations	C_20_302	P3	07.01.2020
Proposed SE elevations	C_20_303	P4	07.01.2020
House type 1 entrance	C_31_400	P2	23.10.2019
House type 3 entrance	C_31_402	P3	07.01.2020
Existing plans – The Lodge	D_EX_100	P2	04.03.2019
Existing Plans – The Stables	D_EX_101	P2	04.03.2019
Existing sections	D_EX_200	P1	22.02.2019
Existing elevations	D_EX_300	P1	22.02.2019
Demolition Plans - Lodge	D_12_100	P3	07.01.2020
Demolition Plans – Stables	D_12_101	P2	04.03.2019
Proposed plans – Lodge	D_20_100	P4	07.01.2020
Proposed Plans – Stables	D_20_101	P2	04.03.2019
Proposed sections	D_20_200	P2	23.10.2019
Proposed elevations	D_20_300	P2	23.10.2019
Landscape Strategy	P.1436.103	H	07.01.2020
Tree Survey Plan	AR-3855-appD TPP-19001		23.10.2019
Tree Protection Plan	AR-3855-TSP02		23.10.2019
Woodland Management Plan	AR-3855-WMP- 01		23.10.2019
Swept path analysis – Fire Tender	ITB14222-GA- 005	H	08.01.2020
Swept path analysis – Refuse vehicle	ITB14222-GA- 006	F	08.01.2020
Potential Site Access Arrangements	ITB14222-GA- 010	B	08.01.2020
Swept path analysis – Refuse vehicle	ITB14222-GA- 012	A	08.01.2020

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

- Where new walls divide existing rooms, the new walls shall have moulding detail to match existing including skirting, dado, architrave, picture rail and cornice, and shall be scribed into the existing detail to ensure reversibility.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

- Details of the suspended ceilings shall be submitted to and approved in writing before works commence, including omitting suspended ceilings on the

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attic storey, F13 and G18 (former Billiard Room), and revision of G10 and G11 (Former Kitchen) to a cohesive approach.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest of the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

5. The Victorian Linen Cupboard and Georgian Cupboard in Room A7, Georgian Cupboard in Room A6, Victorian Cupboard in A16 and Georgian windows seat in F10 and corridor staircase to A5 (as referenced in the ASE Historic Building Record plans) shall be retained and repaired in situ.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest of the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

6. Before works commence internal elevation drawings for F21, F13, F10, F6, F7, F2, F3, G10, G18 (former billiard room including removal of existing suspended ceiling to reveal and make good original beamed ceiling, reinstatement of the lantern light and fireplace) G9 (including removal of existing suspended ceiling), G6 (former Library), G7 (former Dining Room), G1, G2 and G3 (former Double Drawing Rooms) G19 and G11 (former Kitchen) including design of any fixed or free standing wardrobe, kitchen or other fittings shall be submitted to and approved in writing by the LPA.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest of the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

7. Before works commence the following fireplaces shall be retained and details of their restoration provided, with existing and proposed finish (requires investigation of surviving hob and tiles before submission); F13, F7, G6 (Former Dining Room), G7, (Former library) submitted to and approved in writing by the LPA.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest of the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

8. Before works commence details of any new fireplaces to reinstated, which shall include reinstating fireplaces in F6, F2, F3, F10, G10, G18 (Billiard Room), G3 and G1 (former Double Drawing Rooms) shall be submitted to and approved in writing by the LPA. This will require investigation of opening size and any hidden hob, tile or silhouette of missing fireplace detail to be recorded first.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

9. Whilst works occur to G15, G16 and G17 (Former Servant's Hall) a record of the existing joists shall be recorded when opening up and submitted to the LPA and HER.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

10. In G19 (former laundry) the original beamed ceiling including spine beams and ceiling joists shall be exposed and retained.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

11. Before works commence, details of all Internal and external doors, including detailed drawings of new doors, shall be submitted to and approved in writing by LPA including a survey of all existing door after removal of overboarding. All new doors shall be of painted timber of panel pattern and moulding profile to match the original Georgian doors.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

12. Before works commence details of the external lift shall be submitted and approved in writing by the LPA

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

13. All existing plasterwork shall be retained unless consent in writing has been given by the LPA for its replacement.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

14. All making good shall be in handmade sandfaced brick of colour, size, facebond (Flemish bond) and joint to match existing.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

15. Before works commence a detailed specification for the repair of Banstead Place and its outbuildings, ha-ha ditch and kitchen garden wall shall be submitted to and approved in writing by the LPA. These repairs shall be completed before the occupation of any of the new houses.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

16. Before works commence detailed drawings of the orangery (conservatory) and investigation results of the Minton tile floor shall be submitted to and approved in writing by the LPA, omitting the later round head detail.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

17. Before works commence a survey of the floors within the listed building shall be carried out to establish if they are of historic value and detailed provided of the intended floor finishes.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

18. Before works commence a detailed specification for the repair work for the windows in the listed building including any replacement glass or secondary glazing shall be submitted to and approved in writing by the LPA. This will include consideration of the suitability of new glass.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

19. Before works commence detailed drawings and cross section of all elevations and cross walls of the basement (former reservoir) of the lodge shall be submitted to and approved in writing by the LPA before works commence.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

20. The front wall of the flint building (refuse store) shall be set back behind the existing posts and braces, with black stained featheredge weatherboarding and vertically boarded doors behind. The asbestos roof shall be replaced with a natural slate roof with hogsback ridge tiles. The vertical boarded door to the concierge office shall be retained and the window replaced with a white painted opening casement.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

21. The coach house (cycle store) doors and former openings shall be of black stained vertically boarded timber.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

22. Before works commence in the arboretum, the location and outline of the ice house shall be identified by hand digging investigative archaeological investigation to in situ mortared brick level (the zone for investigation having been identified by reference to historic maps) and details of a protective cordon and signage shall be submitted to and approved in writing by the LPA before works to the arboretum commence. All loose brickwork related to the ice house shall be stored adjacent to the icehouse for possible future restoration.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

23. Before works commence the ASE Historic Building Record shall be deposited in HER, with a digital copy to LPA Conservation Officer, and shall including digital copies of photos, of a resolution not less than 3mb per photo.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and to safeguard the special interest if the listed building with regard to Reigate and Banstead Core Strategy Policy CS4 and Reigate and Banstead Development Management Plan 2019 policy NHE9.

24. Before works commence, a Historic Garden Management Plan for the arboretum shall be submitted to and approved in writing by the Local

Planning Authority to consider how the western Yew wilderness garden, the eastern wooded lawn, and the former northern orchard and pond shall be managed including a phased management for a ten year period. Arboricultural and ecological reports should be adjusted to reflect the findings of the Historic Garden Management Plan to ensure consistency in approach.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Development Management Plan 2019 policies DES1, NHE3 and NHE9.

25. Before the pear orchard is planted in the south east corner of the site, details shall be submitted to and approved of a Historic Garden Management Plan for the pear orchard, including research into Motteux's orchards and specification of English and French pear species appropriate to the period of Motteux original pear orchard.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Development Management Plan 2019 policies DES1, NHE3 and NHE9

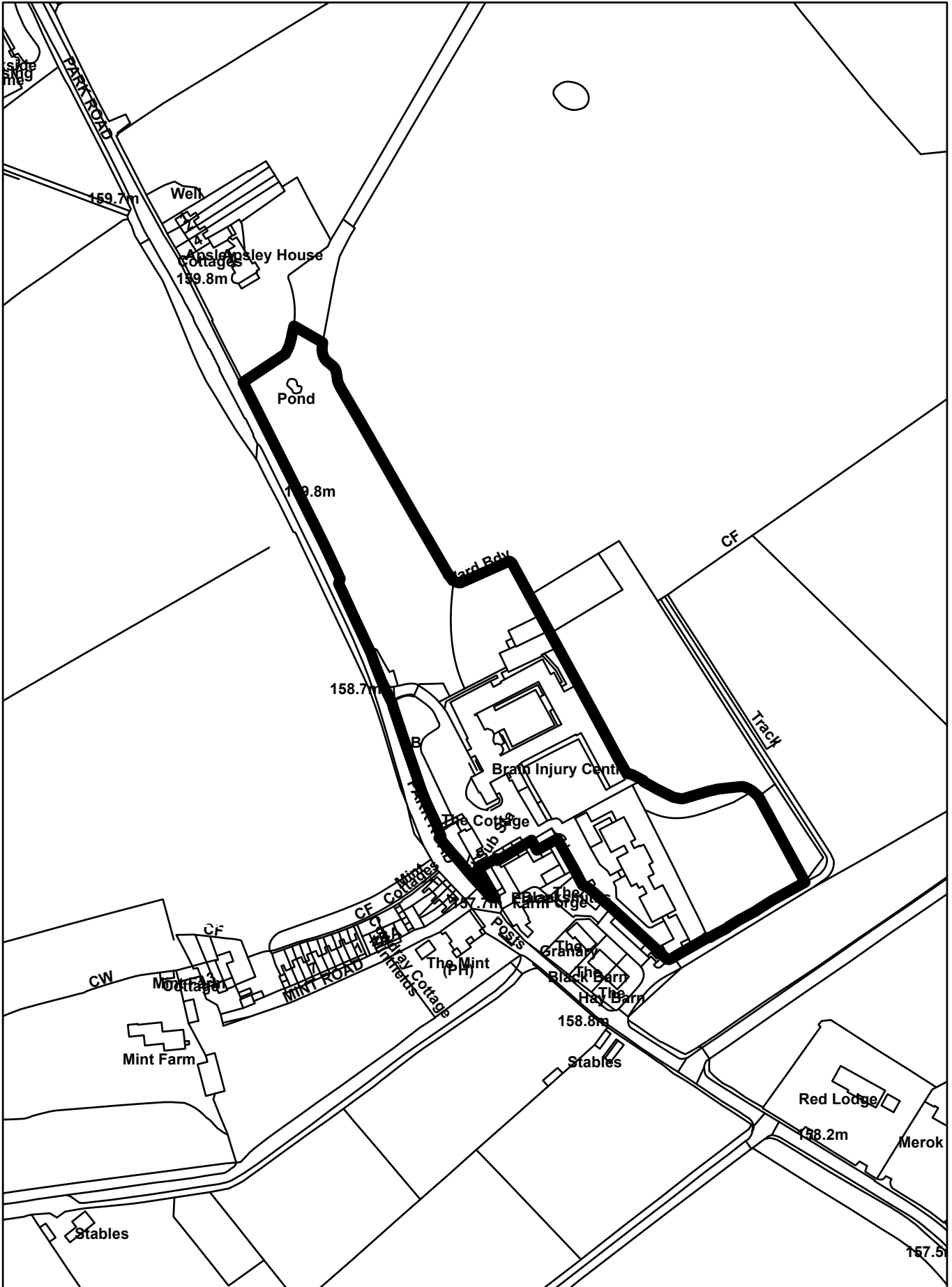
REASON FOR CONSENTS

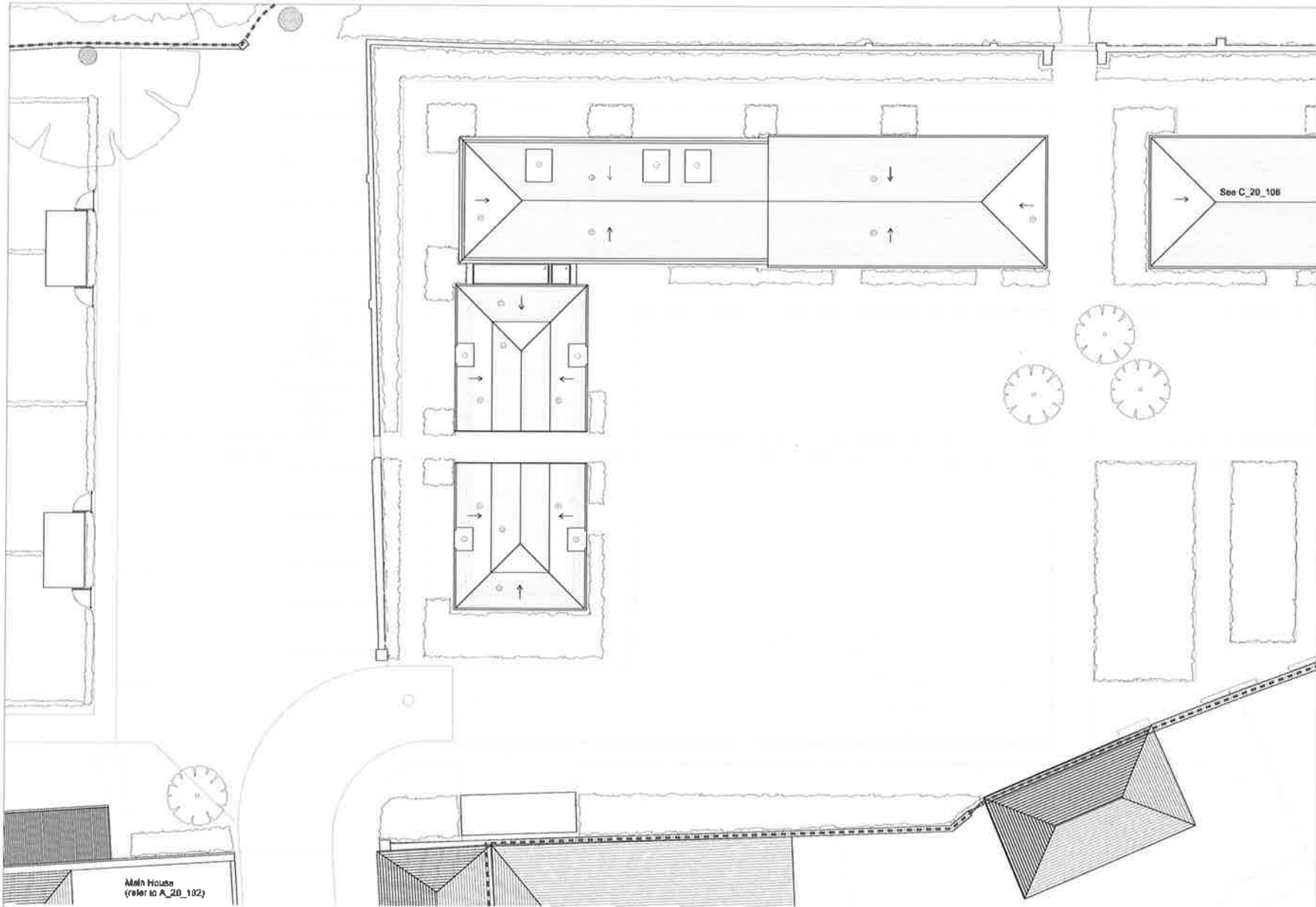
The development hereby permitted has been assessed against development plan policies DES1, DES4, DES5, DES6, DES8, DES9, TAP1, CCF1, NHE2, NHE3, NHE5, NHE9, and CS1, CS3, CS4, CS10, CS11, CS12, CS13, CS14, and CS17 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statements

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

19/00990/F & 19/00991/LBC - Banstead Place, Park Road, Banstead





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- Key**
- ▬ Existing Footprint
 - ▬ Proposed
 - ▲ Landscaping
 - Tree
 - Tree

- Revisions**
1. Works to be completed by 15/11/2019. App. An/Mat/Mat/Mat/Mat
 2. Revised plans and specifications to be submitted by 15/11/2019.

P2	23/10/19	Planning application	SPH
P1	22/08/19	Planning application	SPH
Rev	001	Revision for issue	SPH

Banstead Place

Client: Stonegate Homes

Proposed: Walled Garden - Roof Plan 1

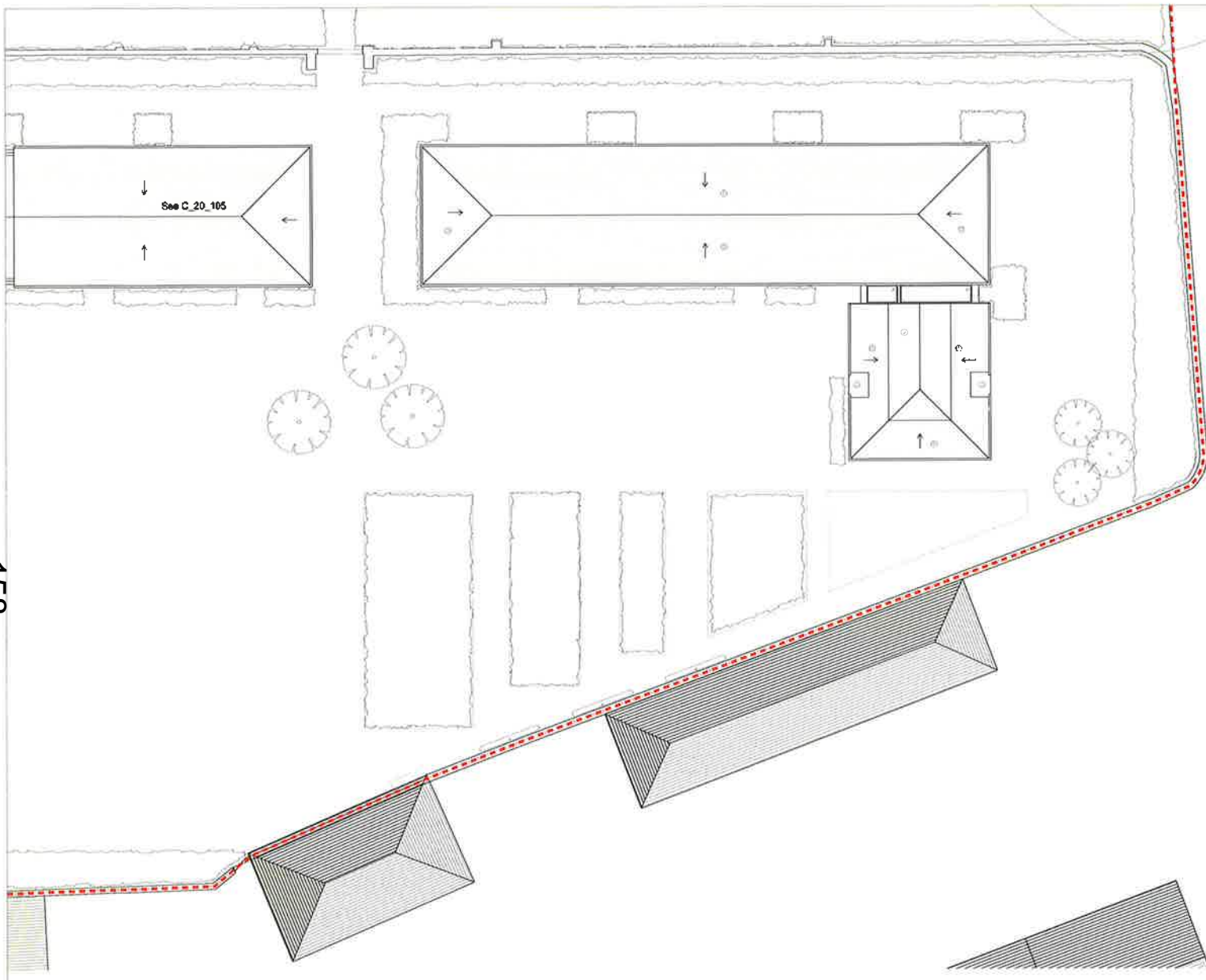
PLANNING

Proposed	P2	Date	23/10/2019	Scale	1:100
Project	18007	Drawn by	ED	Checked by	SPH
Project	P2	Drawn by	ED	Checked by	SPH
Project	P2	Drawn by	ED	Checked by	SPH

01 Proposed Roof Plan



Main House
(refer to A_20_102)



01 Proposed Roof Plan
1:100

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All work shall comply with relevant British Standards and Building Regulations requirements. Drawings shall be prepared to be approved by the local authority.
File path: \\s:\158\158.rvt



Key

---	Proposed	○	Tree
---	Existing	○	Plant
---	Boundary	○	Other
▲	Proposed		

Revisions

1	Revised drawing to include changes to the roof structure
2	Revised drawing to include changes to the roof structure

P2	22.10.19	Planning assessment	SPH
P1	22.02.19	Planning application	SPH

Banstead Place

Client: Stonegate Homes

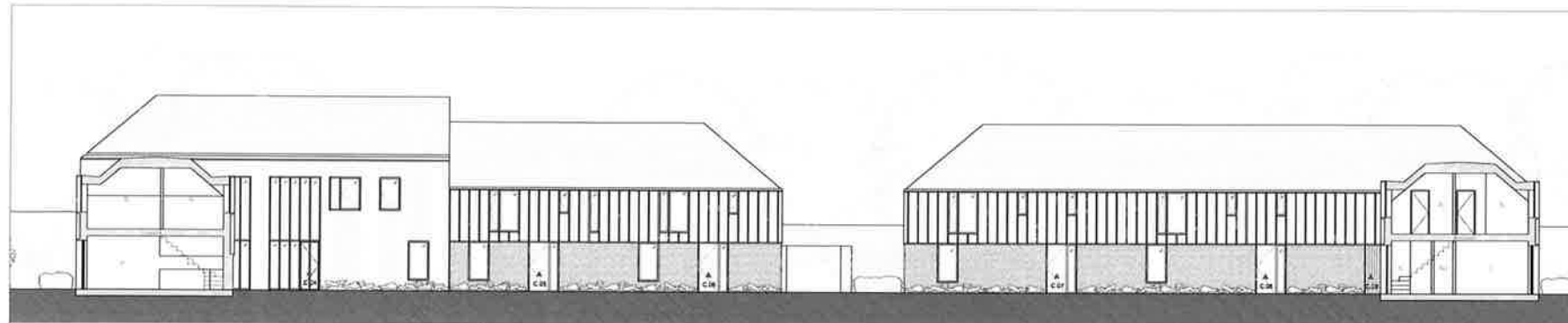
Proposed: Walked Garden - Roof Plan 2

PLANNING

16007	23/10/2019	1:100
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P2	ED	SPH	C_20_105
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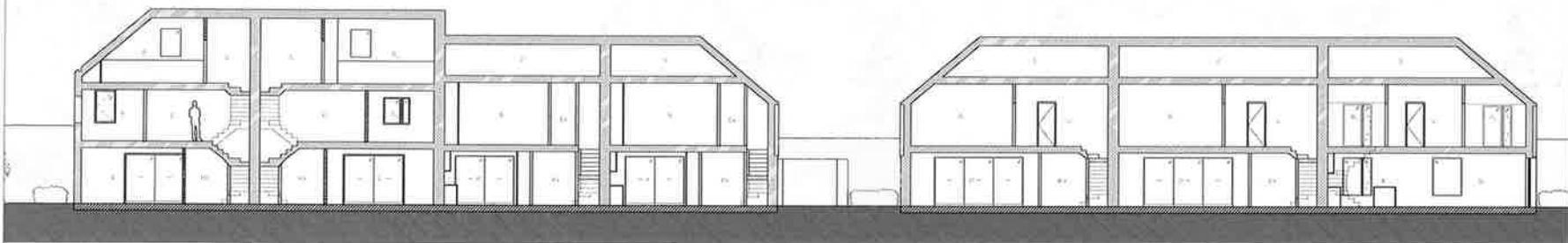




01 Section AA
1/100



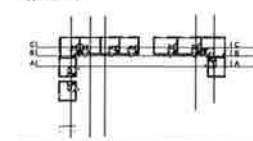
02 Section BB
1/100



03 Section CC
1/100



Key plan - not to scale



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Key plan - not to scale



Key

- Existing walls
- ▒▒▒▒▒ Existing walls
- ▒▒▒▒▒ Proposed walls
- ▲ Construction levels
- 1. Floor
- 2. First floor
- 3. Second floor
- 4. Roof
- 5. External ground
- 6. External level
- 7. External level
- 8. External level
- 9. External level
- 10. External level
- 11. External level
- 12. External level
- 13. External level
- 14. External level
- 15. External level
- 16. External level
- 17. External level
- 18. External level
- 19. External level
- 20. External level

Revisions

1. Revise section AA to show glass doors
2. Revise section BB to show glass doors

P2	23.10.19	Planning amendment	SPH
P1	22.02.19	Planning Application	SPH

Banstead Place

Client: Stonegate Homes

Proposed: Walled Garden - Sections AA BB CC

PLANNING

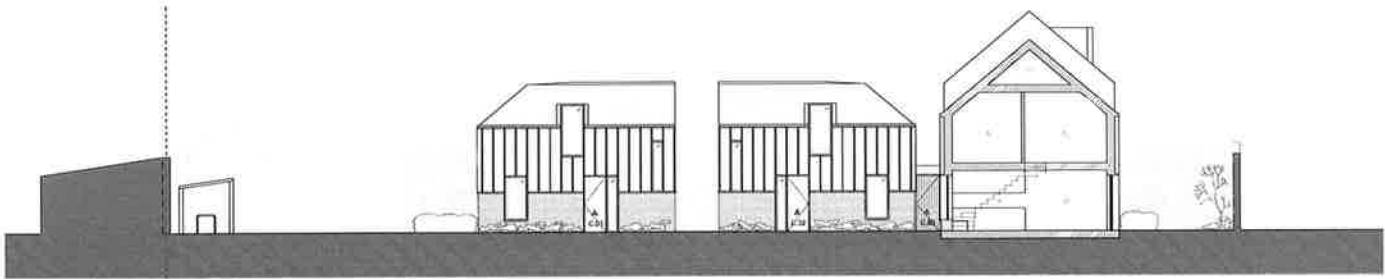
Project Number	18007	Date	23/10/2019	Scale	1:100
Client	EO	Approved	SPH	Drawing Number	C_20_200

cousins
cousins

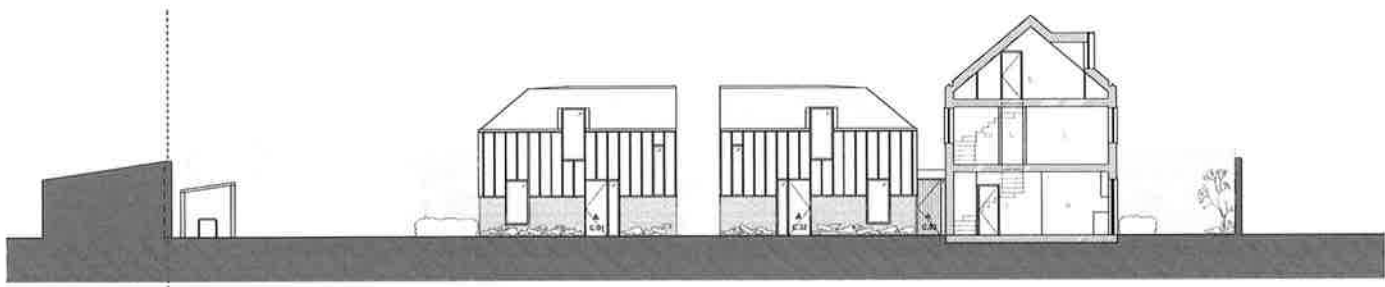
Architects
20, Park Street, Banstead, Surrey, UK

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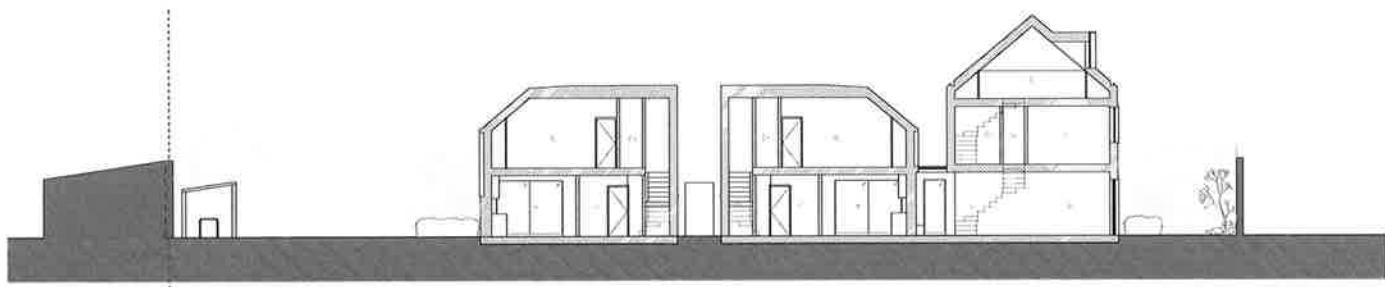
160



01 Section DD
1/100



02 Section EE
1/100



03 Section FF
1/100



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Key

- 1. Proposed building
- 2. Existing building
- 3. Proposed driveway
- 4. Proposed parking
- 5. Proposed landscaping
- 6. Proposed boundary
- 7. Proposed boundary
- 8. Proposed boundary
- 9. Proposed boundary
- 10. Proposed boundary
- 11. Proposed boundary
- 12. Proposed boundary

Revisions

- 1. Revised drawing to include Section FF
- 2. Revised drawing to include Section FF

P2	22.10.19	Planning Application	SPH
P1	22.06.19	Planning Application	SPH
DR			

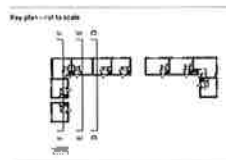
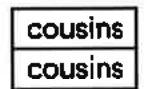
Banstead Place

Stonegate Homes

Proposed:
Walled Garden - Sections DD EE FF

PLANNING

18007	23/10/2019	1:100
P2	ED	SPH
		C_20_201





01 Section GG
1:100



02 Section HH
1:100



Key plan not to scale



22PE

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Key plan not to scale



Key

- Site Boundary
- Existing walls
- Proposed walls
- Existing windows
- Existing doors
- Existing floors
- Existing roofs
- Existing stairs
- Existing landscaping
- Existing trees
- Existing paths
- Existing fences
- Existing walls
- Existing roofs
- Existing floors
- Existing stairs
- Existing landscaping
- Existing trees
- Existing paths
- Existing fences

Revisions
1. Revised floor levels to house types T & Y
2. Revised areas and garden levels to house types T & Y

Rev	Date	Description	By
P1	22.10.18	Planning application	SPH
P2	22.02.19	Planning Application	SPH
K1	22.02	Review for issue	DM

Banstead Place

Stonegate Homes

Proposed: Walled Garden - Sections GG HH

PLANNING

Application No.	Date	Scale of drawing
18007	23/10/2018	1:100

Section	Scale	App. No.	Section No.
P2	ED	SPH	C_20_202

South - east view
1:50 (50' Equivalent North-South)
1:50 (50')
2017/2018

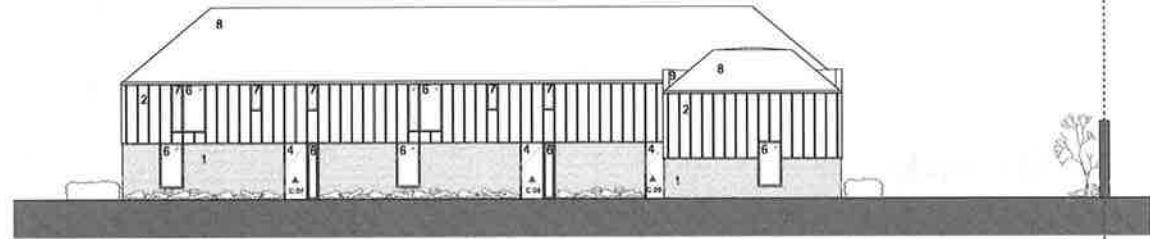
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01 Proposed SW Elevation
1:100



02 Proposed SW Elevation
1:100



03 Proposed SW Elevation
1:100



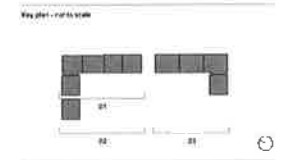
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Key
 ■ Building Footprint
 ■ Plot Boundary
 ▲ Section Line

Revisions
 1. Public Consultation Comments
 2. Client Comments

- Notes**
- Knapped flint
 - Deep fin charred larch frame with charred larch vertically clad infills
 - Charred larch vertical cladding
 - Charred larch front door
 - Charred larch front door with two glazed panels
 - Frameless fixed glazing
 - Timber frame double glazed casement window
 - Slate roof tiles
 - Zinc roof



Rev	Date	Description	By
P1	22/09	Planning application	SPH
P2	06/10	Planning amendment	SPH
P3	29/10	Planning application	SPH

Banstead Place

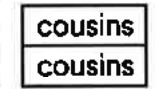
Client: Stonegate Homes

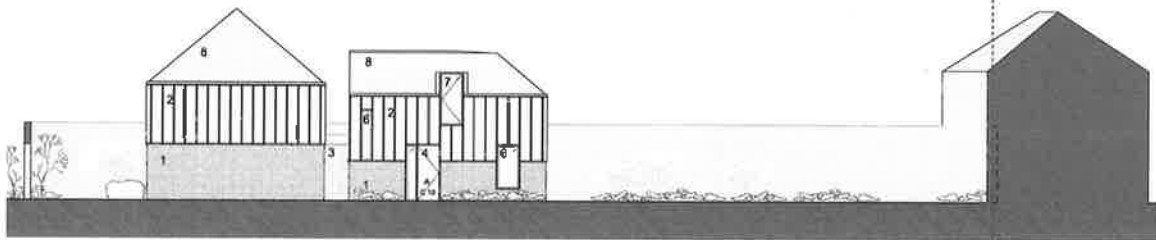
Proposed: Walked Garden - SW Elevations

PLANNING

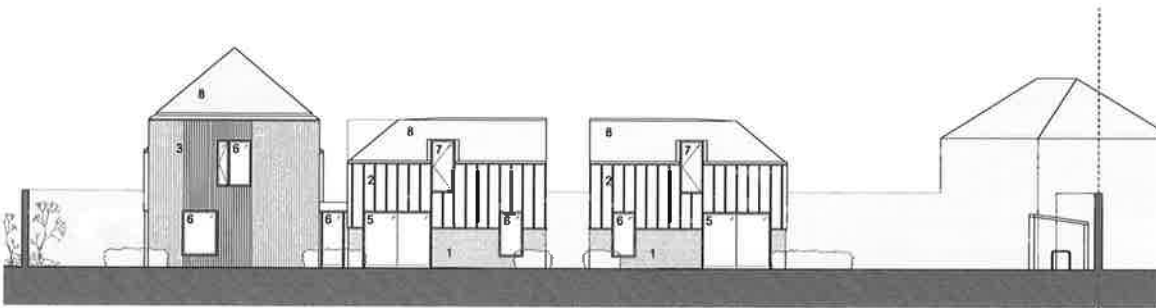
16007 23/10/2019 1:100

P3 ED SPH C_20_300





01 Proposed NW Elevation
1:100

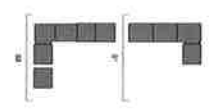


02 Proposed NW Elevation
1:100



- Notes**
- 1 Knapped lint
 - 2 Deep fin charred larch frame with charred larch vertically clad infill
 - 3 Charred larch vertical cladding
 - 4 Charred larch front door
 - 5 Sliding door
 - 6 Frameless fixed glazing
 - 7 Timber frame double glazed casement window
 - 8 Slate roof tiles
 - 9 Zinc roof

Key plan - not to scale



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- Key**
- Section line
 - ▨ Airbrick
 - ▧ Window
 - ▲ Chimney

Revisions

1	Revised front elevation subject to London Council planning
2	Revised front elevation subject to local planning
3	Revised front elevation subject to local planning

Rev	Date	Revised by	Number of Issues	Rev
01	23/10/19	Planning application		SPH
02	22/11/19	Planning application		SPH

Banstead Place

Client: Stonegate Homes

Proposed: Walled Garden - NW Elevations

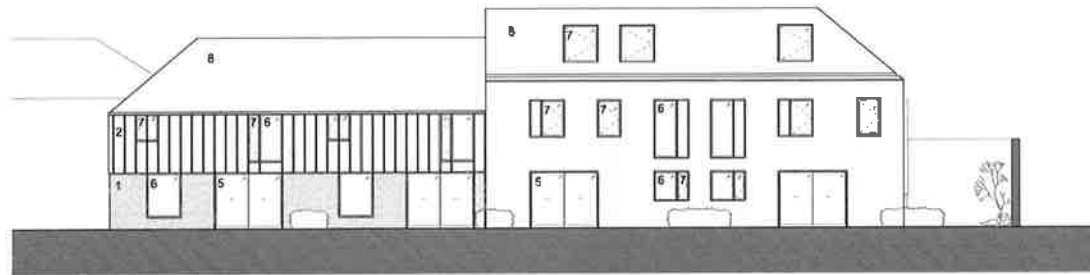
PLANNING

Form No	Date	Scale
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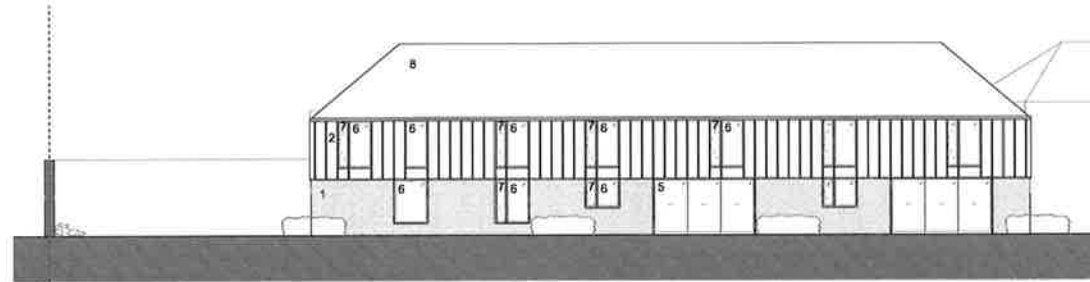
Author	Drawn By	Approved By	Rev No
P2	ED	SPH	C_20_301

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cousins

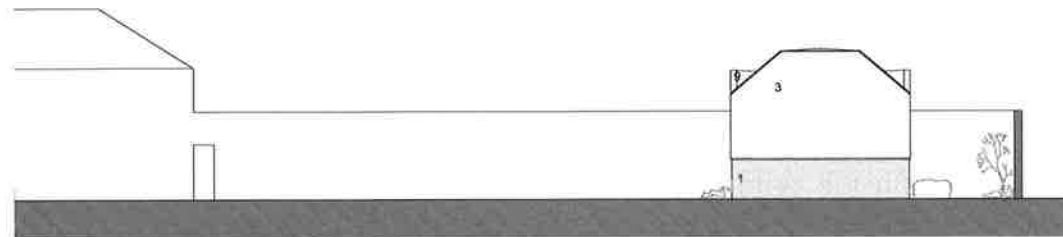
Architects
175 Finchley Road, London, NW11 7AA
020 7608 1000
www.cousins.co.uk



01 Proposed NE Elevation
1:100



02 Proposed NE Elevation
1:100



03 Proposed NE Elevation
1:100



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Key plan - not to scale



Key

- 1 Knapped Flint
- 2 Deep fin charred larch frame with charred larch vertically clad infills
- 3 Charred larch vertical cladding
- 4 Charred larch front door
- 5 Glazed sliding door
- 6 Frameless fixed glazing
- 7 Timber frame double glazed casement window
- 8 Slate roof tiles
- 9 Zinc roof

Revisions

1. Reducd window height to 1.8m
2. Revise window frame to 1.8m

PE	23/10/19	Planning amendment	SPH
PI	22/10/19	Planning Application	SPH
DR	16/10/19	Development Brief	

Banstead Place

Client: Stonegate Homes

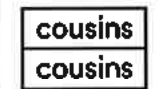
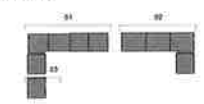
Proposed: Walled Garden - NE Elevations

PLANNING

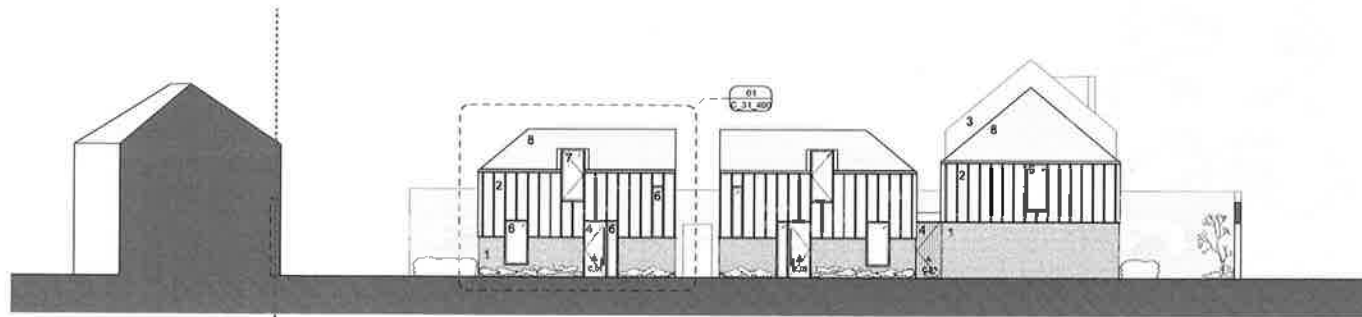
16007	23/10/2019	1:100
P2	ED	SPH
		C_20_002

- Notes**
- 1 Knapped flint
 - 2 Deep fin charred larch frame with charred larch vertically clad infills
 - 3 Charred larch vertical cladding
 - 4 Charred larch front door
 - 5 Glazed sliding door
 - 6 Frameless fixed glazing
 - 7 Timber frame double glazed casement window
 - 8 Slate roof tiles
 - 9 Zinc roof

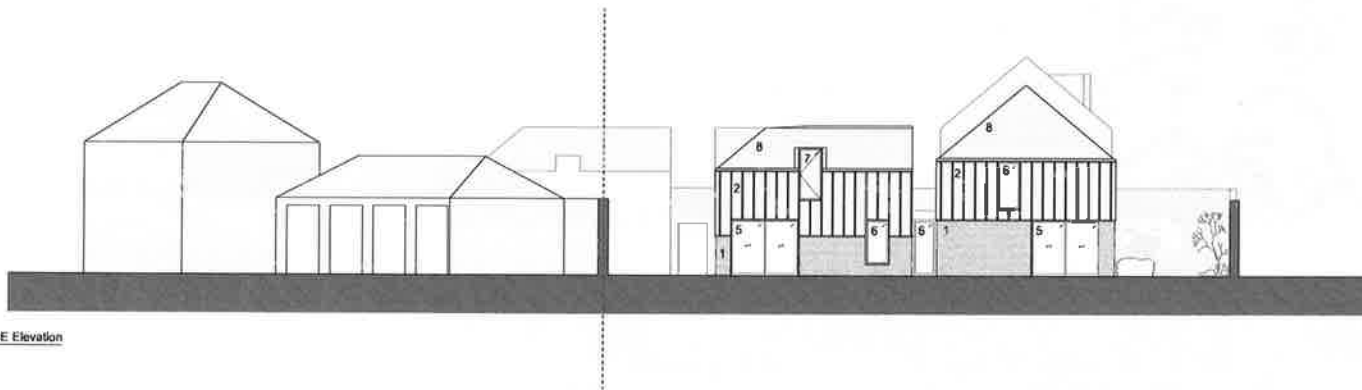
Key plan - not to scale



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01 Proposed SE Elevation
1:100

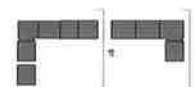


02 Proposed SE Elevation
1:100



- Notes**
- 1 Knapped flint
 - 2 Deep lin charred larch frame with charred larch vertically clad infill
 - 3 Charred larch vertical cladding
 - 4 Charred larch front door
 - 5 Glazed sliding door
 - 6 Frameless fixed glazing
 - 7 Timber frame double glazed casement window
 - 8 Slope roof tile
 - 9 Zinc roof

Key plan - not to scale



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Key plan - not to scale



- Key**
- 200mm
 - 100mm
 - 50mm
 - ▲ 100mm

- Revisions**
- 1 Approved Plans (to stage of Planning 1-4.3)
 - 2 Revised at risk and/or details to comply with 1-4.3

Rev	Date	Description	By
P3	23.03.19	Planning application	SPH
P2	24.03.19	Planning application	SPH
P1	22.02.19	Planning application	SPH

Banstead Place

Client: Stonegate Homes

Proposed: Wallis Garden - SE Elevations

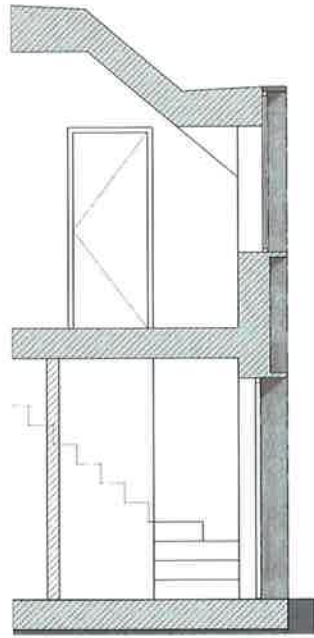
PLANNING

Proposed	Date	Scale
18007	23/10/2019	1:100

Rev	Date	By	Scale
P3	EO	SPH	C_20_303

cousins
cousins

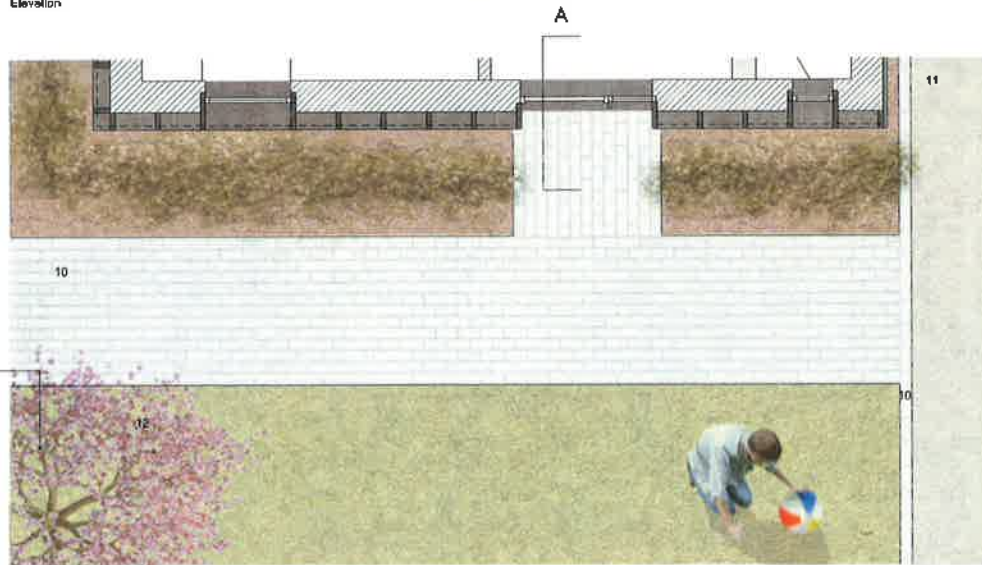
15, The Quadrant, Banstead, Surrey, UK
020 8877 2244



Section A



Elevation



Ground Floor Plan

Refer to Landscape Architect information for landscape strategy including materials

01 Walled Garden - Ground Floor Front Door - House Type 1



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Key

- External Wall
- Internal Wall
- Window
- Door

Revisions

- 1. Rev. 23/10/2019 - Update to include new window and door details.
- 2. Rev. 23/10/2019 - Update to include new window and door details.
- 3. Rev. 23/10/2019 - Update to include new window and door details.
- 4. Rev. 23/10/2019 - Update to include new window and door details.

Rev	23/10/19	Hand-drawn	SPH
P1	22/12/19	Hand-drawn	SPH
Rev		Hand-drawn	SPH

Banstead Place

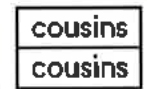
Stonegate Homes

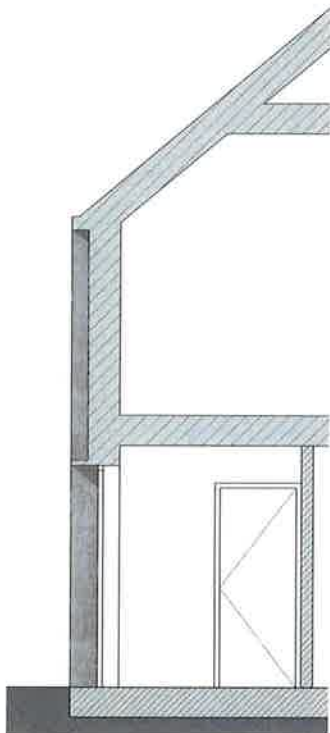
External Openings
Ground Floor Front Door - House Type 1

PLANNING

App No	18007	Date	23/10/2019	Scale	1:25
App No	P2	App No	ED	App No	SPH
App No		App No		App No	C_31_400

- Notes**
- 1 Zinc roof
 - 2 Slate roof tiles
 - 3 Frameless fixed glazing
 - 4 Charred larch sill
 - 5 Gutter in colour to match slate
 - 6 Knapped lint
 - 7 Deep fin charred larch frame with charred larch vertically clad infills
 - 8 Timber frame double glazed casement operable window with restrictor
 - 9 Charred larch front door
 - 10 Brick paving
 - 11 Resin bound gravel path
 - 12 Lawn / with buried reinforcement under

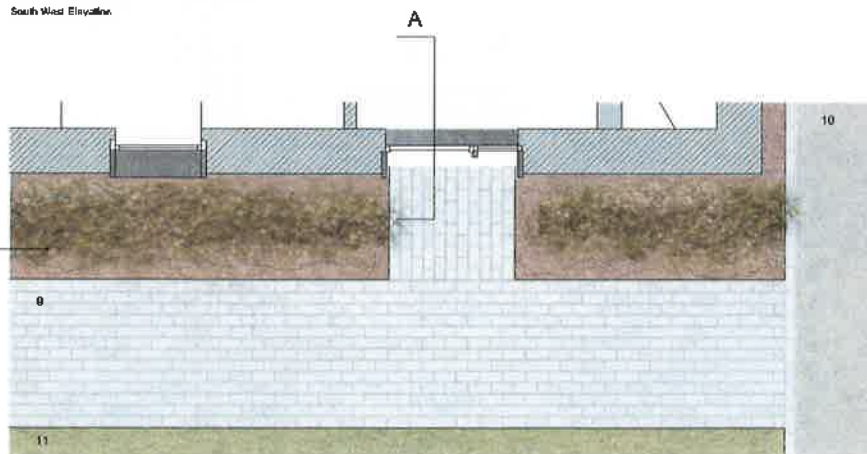




Section A



South West Elevation



Ground Floor Plan

Refer to Landscape Architect Information for landscape strategy including materials

01 Walled Garden - Ground Floor Front Door - House Type 3
1:25



- Notes**
- 1 Slate roof tiles
 - 2 Frameless fixed glazing
 - 3 Charred larch sill
 - 4 Outer in colour to match slate
 - 5 Knapped flint
 - 6 Deep fin charred larch frame with charred larch vertically clad infill
 - 7 Timber frame double glazed casement operable window with restrictor
 - 8 Charred larch front door
 - 9 Brick paving
 - 10 Resin bound gravel path
 - 11 Lawn

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Key

- 1 Existing wall
- 2 Proposed wall

Revisions

- 1 - Initial design (2021-01-15)
- 2 - Revise design (2021-01-15)

Rev	Date	Revised By	Checked By
P1	22/02/19	Planning Application	SPH
P2	22/02/19	Planning Application	SPH

Banstead Place

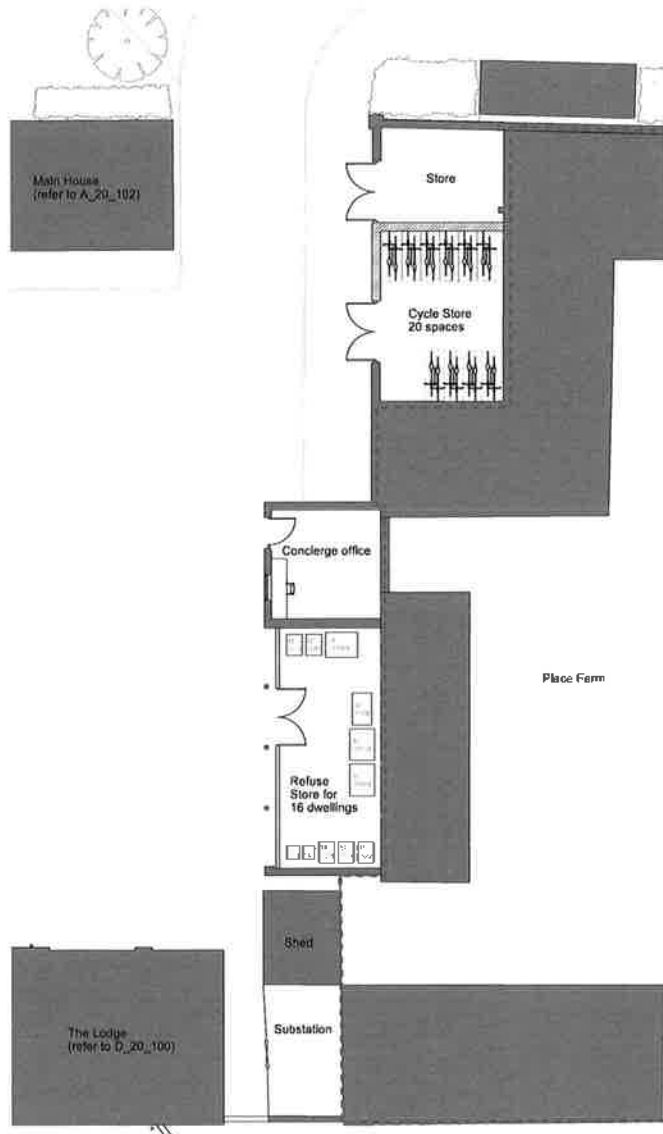
Stonegate Homes

Exisital Openings
Ground Floor Front Door - House Type 3

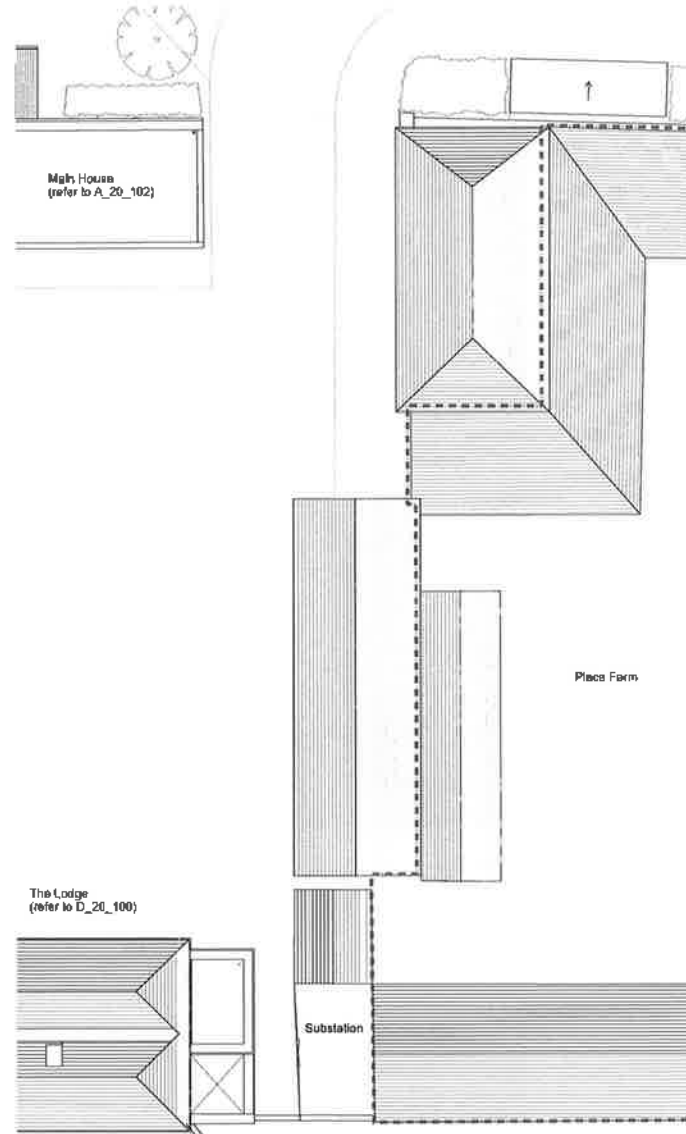
PLANNING

Reference	Date	Scale
18007	23/10/2019	1:25





01 Proposed Ground Floor Plan: Stable Yard
1/100



02 Proposed Roof Plan: Stable Yard
1/100

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- Key**
- Boundary
 - ▭ Building
 - ▭ Proposed Building
 - ▭ Path
 - ▭ Driveway
 - ▭ Fence

Accommodation Schedule

Unit	Area	Bed	En	Shower	Spa
Multi-Storey	40.00	16.0	10.0		
Refuge Store	10.00	16.0	10.0		
Cycle Store	10.00	16.0	10.0		
Substation	10.00	16.0	10.0		
TOTAL	70.00	64.0	40.0		

- Revisions**
1. Revised based on client and contractor.
 2. Revised based on client and contractor.

P3	13.10.19	Planning application	\$/m
P2	04.02.19	Planning application	\$/m
P1	27.02.19	Planning application	\$/m
A	01.03.18	Architectural	\$/m
P	19.01.19	Architectural	\$/m

Banstead Place

Stonegate Homes

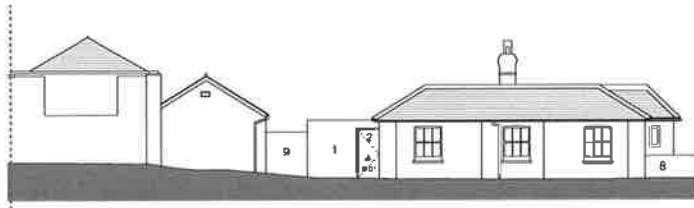
Proposed: Stable Yard - Stables Plans

PLANNING

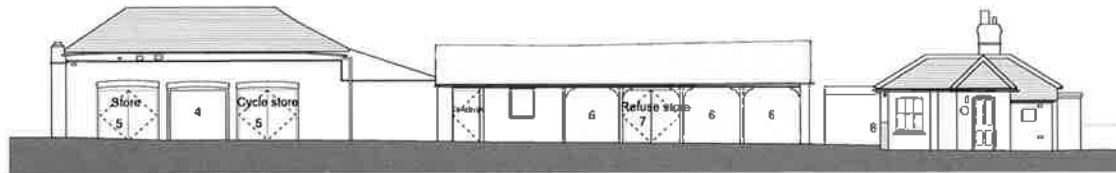
Ref	Date	Scale
16007	23/10/2019	1:100

P3 PF SPH D_20_101

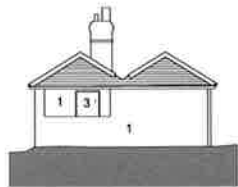




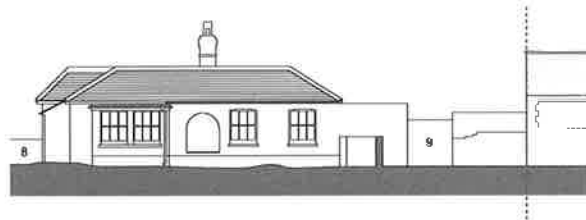
01 Proposed North East Elevation
1:100



02 Proposed North West Elevation
1:100



03 Proposed South East Elevation
1:100



04 Proposed South West Elevation
1:100



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Key

- 1 Painted brickwork
- 2 Black painted door
- 3 Timber frame window
- 4 White painted timber clad wall
- 5 White painted timber doors
- 6 Timber clad walls
- 7 Timber doors
- 8 Brick wall
- 9 Repair timber fence

Revisions

1. Replace windows of existing building.
2. Replace existing of existing building with new building.

- Notes**
- 1 Painted brickwork to match existing
 - 2 Black painted door to match existing
 - 3 Timber frame window to match existing
 - 4 White painted timber clad wall to match existing
 - 5 White painted timber doors to match existing
 - 6 Timber clad walls to match existing
 - 7 Timber doors to match existing
 - 8 Brick wall to match existing
 - 9 Repair timber fence



P2	23.10.19	Planning application	SPH
PF	22.08.19	Planning application	SPH

Banstead Place

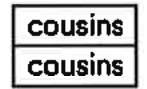
Stonegate Homes

Proposed:
Stable Yard - Elevations

PLANNING

18007	23/10/2019	1:100
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P2	PF	SPH	D_20_300
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01 Site Location Plan
11/2020



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Notes: 1. Particulars shall be subject to the Planning Authority's and Building Regulations requirements. Check any and all conditions to be reported to the architect.

Key
 - - - - - Site Boundary
 - - - - - Proposed Development Boundary
 - - - - - Proposed Development Boundary

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P2	24.03.18	Planning Application	2/18
P1	22.02.18	Planning Application	2/18
P10	2/18	Pre-application Advice	2/18

Banstead Place

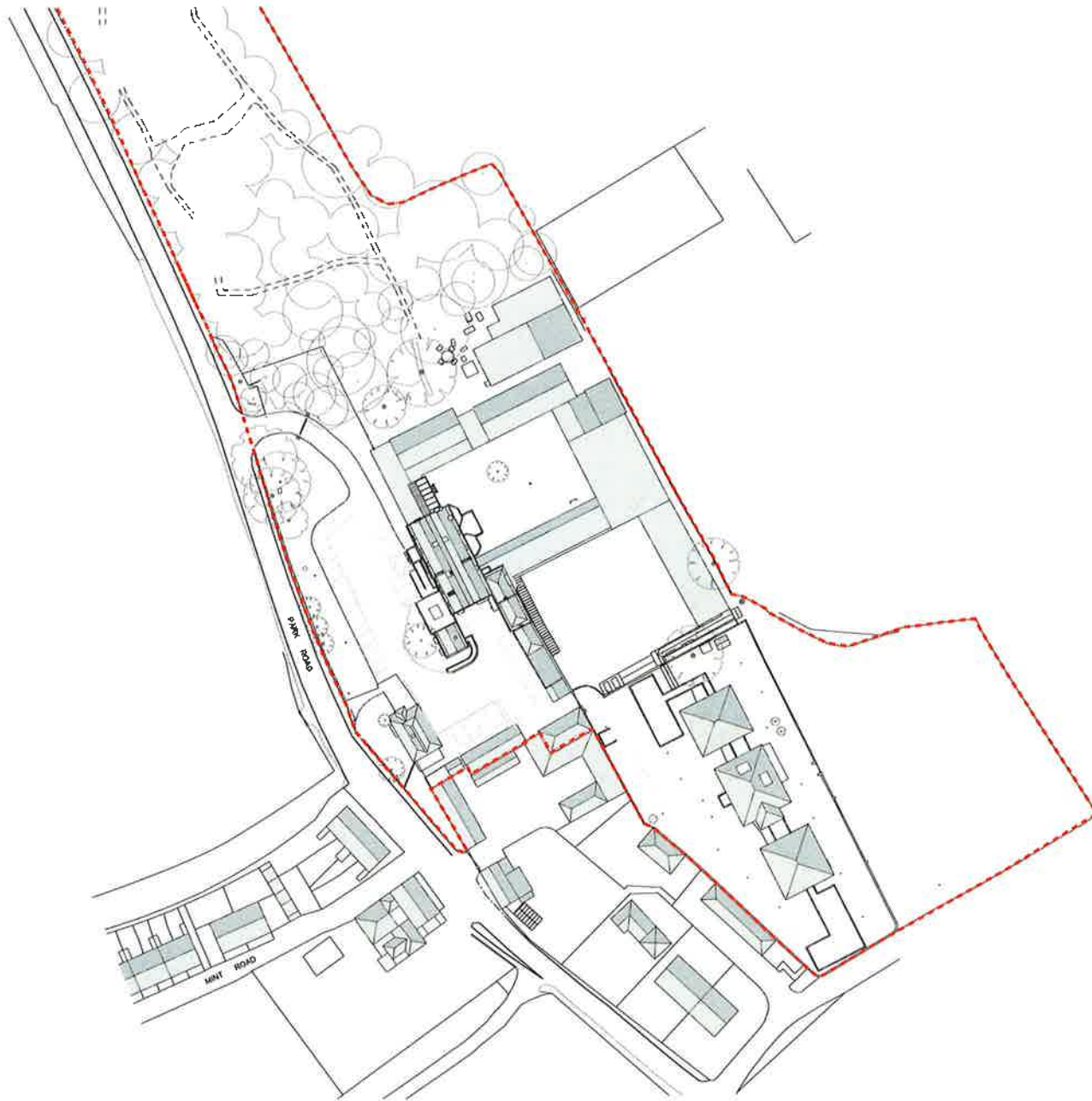
Client: **Stonemere Homes**
 Title: **Site Location Plan**

PLANNING

Reference	Date	Scale	Author
16007	04/10/2019	1:1,250	
Reference	Author	Discipline	Scale
P2	ED	SPH	10,000

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Registered in England
 25, 12, Church Road, Dover
 Kent, TN1 2JL



01 Site plan
1:500

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Key

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Rev	Description	Date	By	Check
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2	Revised			
3	Revised			
4	Revised			
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100	Revised			

Banstead Place

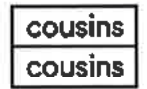
Stonegate Homes

Existing Site Plan

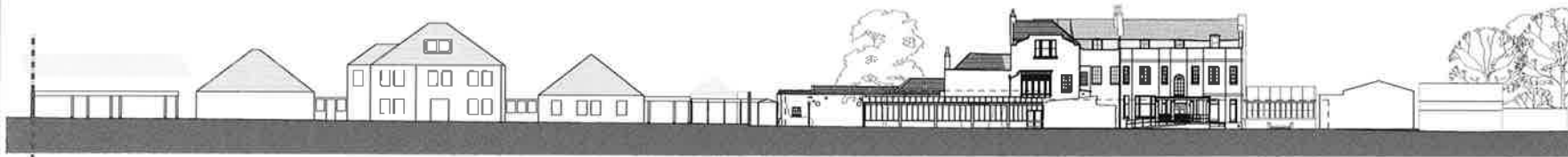
PLANNING

18007 22/02/2018 1:500

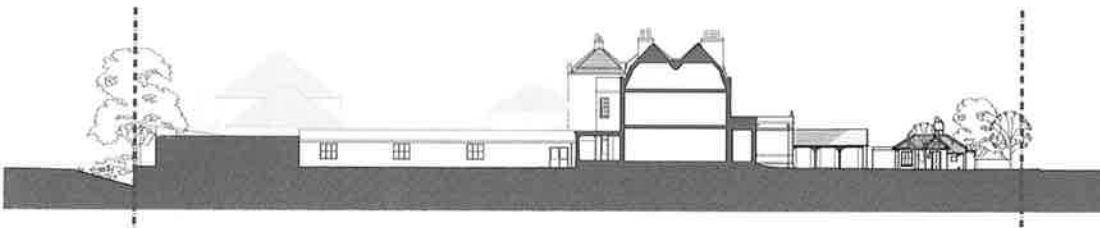
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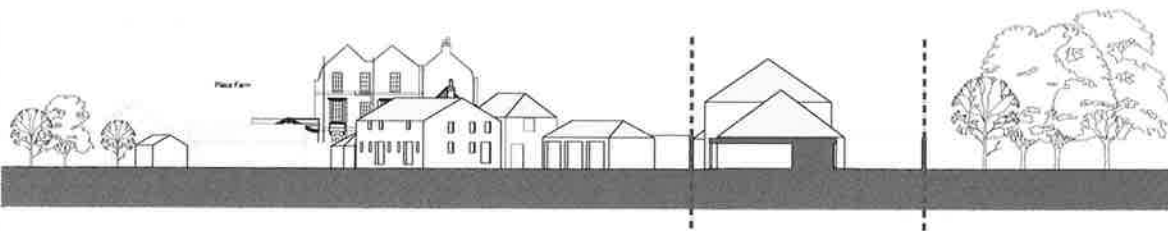
Cousins Architects
 100 The Quadrant
 Banstead, Surrey
 SM20 9JL
 Tel: 01889 481111
 Fax: 01889 481112
 Email: info@cousinsarchitects.co.uk
 Website: www.cousinsarchitects.co.uk



01 Existing Site Section AA
1:250



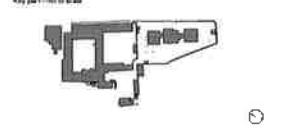
02 Existing Site Section BB
1:250



03 Existing Site Section CC
1:250



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Key
----- (Symbol)

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P1: 22/02/19 Planning Application SPH

Benstead Place

Client: Stonegate Homes

Edsling: Site Sections

PLANNING

Project No:	18007	Date:	22/02/2019	Scale:	1:250
Project:	P1	Drawn by:	ED	Approved by:	SPH
Version:		Drawn by:		Approved by:	10_200



Architectural Services
100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200

174

Outline of building footprint above

01 Existing Basement Plan
1:100



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Key plan is not to scale



Key

■ Existing

Rev	Date	Description	By	App
1	19/03/19	Issue for Information	SPH	
2	22/03/19	Issue for Information	SPH	
3	22/03/19	Issue for Information	SPH	
4	22/03/19	Issue for Information	SPH	
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99	22/03/19	Issue for Information	SPH	
100	22/03/19	Issue for Information	SPH	

Banstead Place

Client: Stonegate Homes
Existing: Main House - Basement Plan

PLANNING

Plan No.	Date	Scale
13067	04/03/2019	1:100

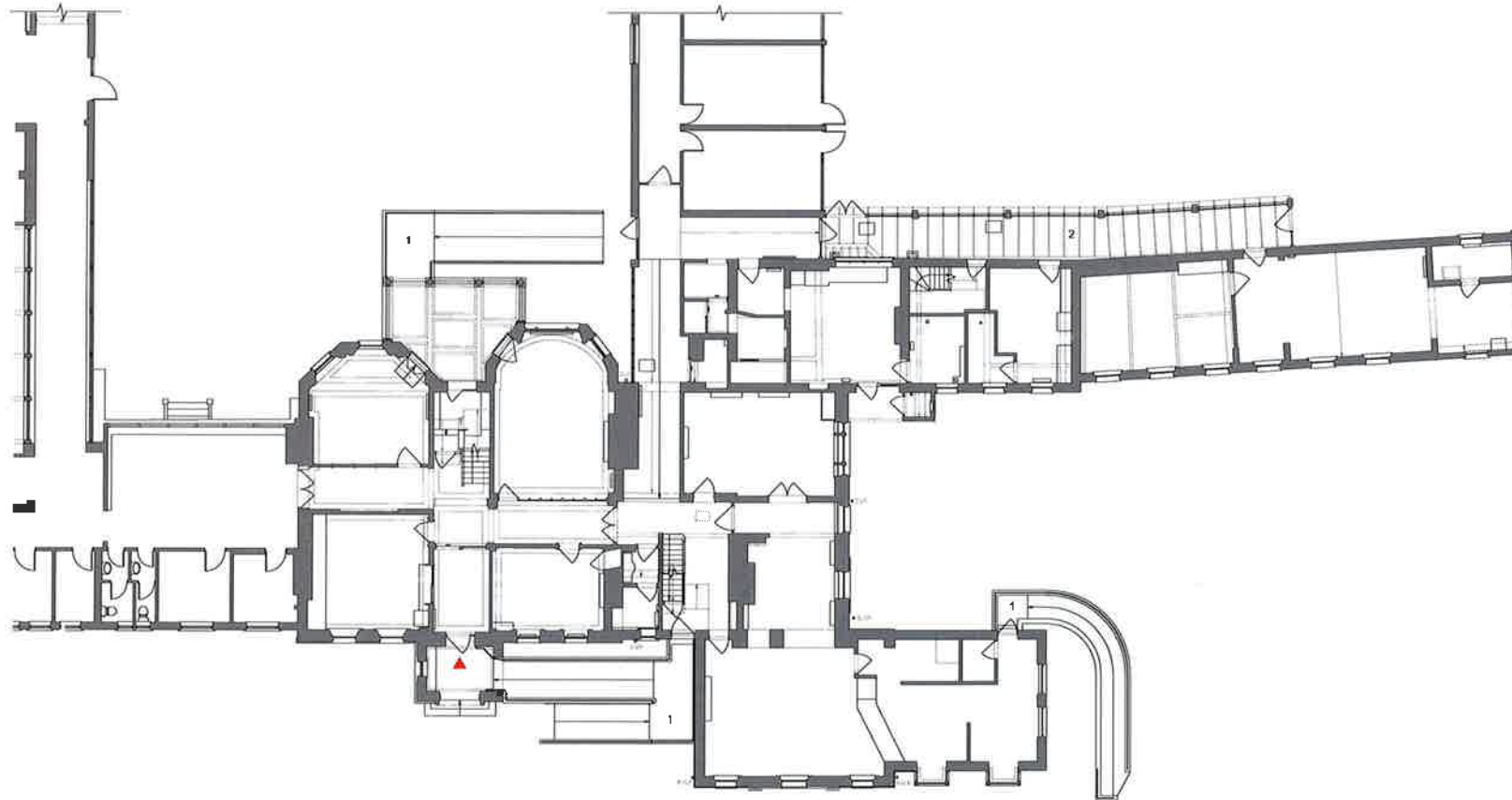
Rev	Date	By	App
P2	ED	SPH	A_EX_099



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Architects
1001
1001
1001

Refer to drawing 10_001 for full extent of single storey additions

Refer to drawing 10_001 for full extent of single storey additions



01 Existing Ground Floor Plan
1:100



Notes
 1 Ramped access
 2 Enclosed glazed walkway

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 Key plan - not to scale



Key

- Existing wall
- ▲ New Access
- Proposed floor
- Proposed roof

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PO	04/03/19	Planning Publication	SPH
PI	22/02/19	Planning Application	SPH
Rev	001	Revised Plan	001

Banstead Place

Client: Slonegate Homes

Existing: Main House - Ground Floor Plan

Zone: PLANNING

Project No	Date	Scale
18007	04/03/2019	1:100

Client	Architect	Structural	Utility
P2	ED	SPH	A_EX_100

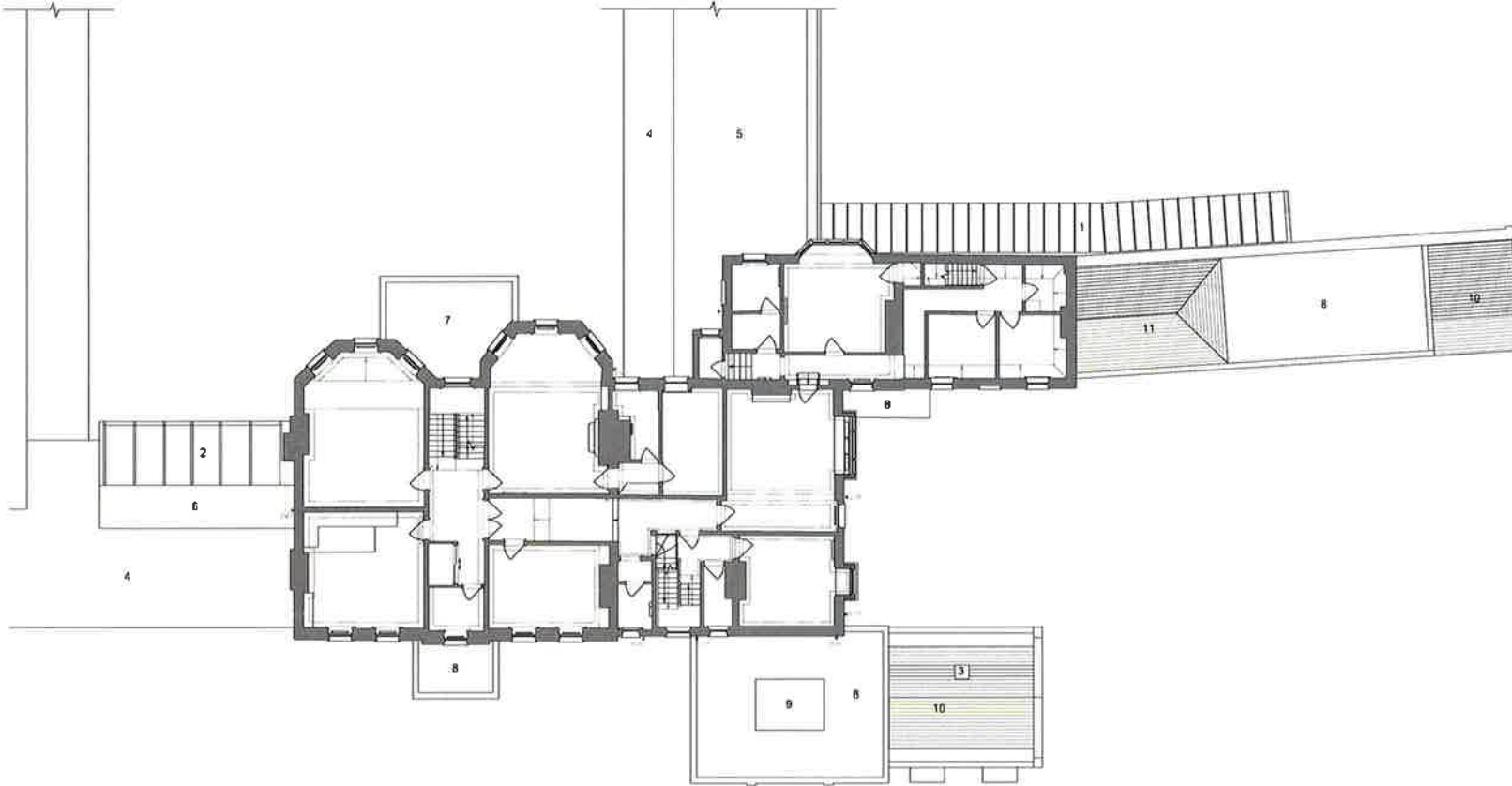
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Architects
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176

Refer to drawing 10_001 for full extent of single storey additions

Refer to drawing 10_001 for full extent of single storey additions



01 Existing First Floor Plan
1:100



- Notes**
- 1 Enclosed walkway with glazed roof
 - 2 Glazed roof to conservatory
 - 3 Rooflight
 - 4 Single-storey additions with flat roof
 - 5 Single-storey additions with flat mono-pitch roof
 - 6 Flat pitched roof
 - 7 Flat roof to veranda
 - 8 Flat roof
 - 9 Location of historic lantern rooflight since infilled
 - 10 Stone tiles
 - 11 Clay tiles

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Key

- Existing
- Proposed
- Rooflight

Rev	Description	Date	By	Check
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2	Issue for construction	04/03/2019	ED	SPH
3	Issue for construction	04/03/2019	ED	SPH
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Banstead Place

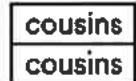
Slonagale Homes

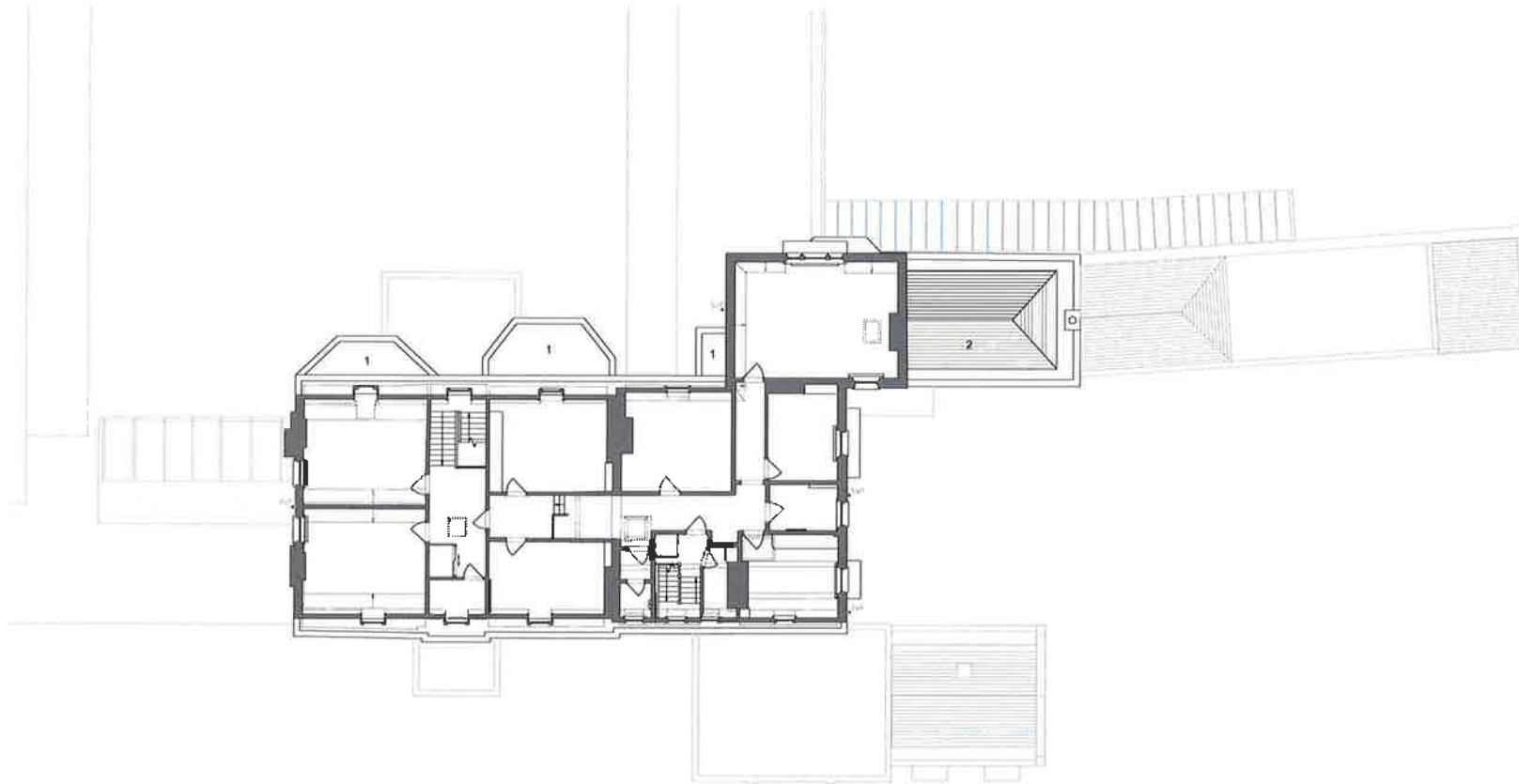
Existing: Main House - First Floor Plan

PLANNING

19007 04/03/2019 1:100

P2 ED SPH A_EX_101





01 Existing Second Floor Plan
1:100



Notes
1 Flat roof
2 Slate roof

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Key plan - see to scale



Key

- Flat roof
- Slate roof
- Boundary

Rev	Date	Description	By	Appr
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Banstead Place

Stonegate Homes

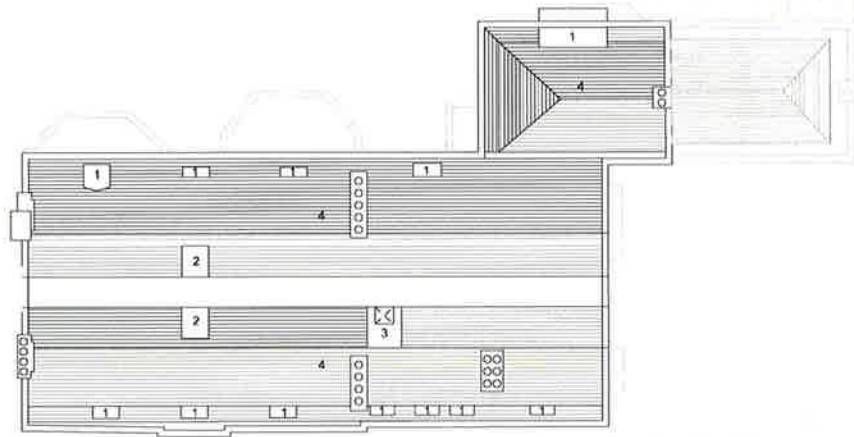
Existing: Main House - Second Floor Plan

PLANNING

Project No: 18007 Date: 04/03/2019 Scale: 1:100

Revision: P2 Date: ED Stage: SPH Drawing Name: A_EX_102





01 Existing Roof Plan
1:100



Notes
 1 Lead clad dormer windows
 2 Dormer windows with access to central valley
 3 Section of flat roof including access
 4 Slate roof

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Key

Existing

Rev	Description	Date	By	Check
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02	Issue for Construction	04/03/2019	SPH	ED
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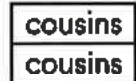
Banstead Place

Stonegate Homes

Existing:
Main House - Roof Plan

PLANNING

Rev	Description	Date	By	Check
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P2	Issue for Planning	04/03/2019	SPH	ED





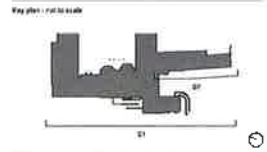
01 Existing South West Elevation
1/100



02 Existing South West Elevation
1/100



- Notes**
- 1 Red brick with rating stretcher bond
 - 2 Red brick with Flemish bond
 - 3 Red brick entrance lobby with brick and stone band detailing
 - 4 Render
 - 5 Stone band detailing
 - 6 Timber frame sash windows
 - 7 Timber frame sash windows with shutter
 - 8 Aluminium frame bay windows
 - 9 U-PVC windows
 - 10 Dormer windows
 - 11 Slate tiles
 - 12 Clay tiles
 - 13 Felt roof
 - 14 Rendered addition with felt flat roof
 - 15 Bell



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 May 2017 1:100 to A3



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P2	04/03/19	Planning Application	SPH
P1	02/02/19	Planning Application	SPH
Rev	Issue	Author/Check	Date

Banstead Place

Client: Stonegate Homes

Existing: Main House - SW Elevations

PLANNING

Site Number	16007	Date	04/03/2019	Scale	1:100
Project	P2	Version	ED	Approved by	SPH
Project Name	A_EX_300				

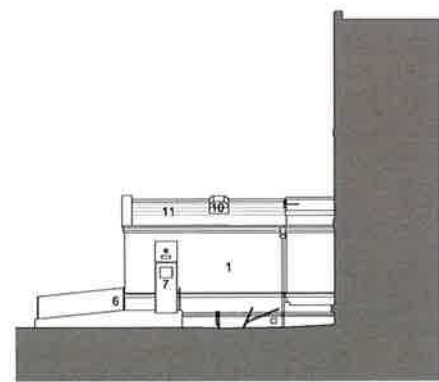
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Architects
 100 Banstead Road
 London SE21 8JH
 Tel: 020 8611 1111
 Email: info@cousins-architects.co.uk

Daylight Counts & Glazing Analysis
 No further BREEAM advice. This drawing should not be used to calculate areas for the purpose of calculation. All glazing should be checked on site for the correct type and such dimensions to be that necessary. Do not make changes.
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 Key plan - 1:250 scale



01 Existing North East Elevation
 1/100



02 Existing North East Elevation
 1/100



- Notes**
- 1 Red brick with raking stretcher band
 - 2 Red brick with Flemish bond
 - 3 Covered walkway with red brick stretcher band dwarf wall and glazed infill sections above
 - 4 Covered veranda with white painted columns, timber balustrade and upright infill sections
 - 5 Conservatory with red brick dwarf wall, over clad with metal panels. Timber frame windows and safety glass glazed roof
 - 6 Access ramp with steel handrail
 - 7 Timber glazed door with timber infill panel above
 - 8 Timber frame oriel window
 - 9 Timber frame sash windows
 - 10 Rooflight
 - 11 Slate tiles
 - 12 Clay tiles

Key plan - 1:250 scale



Rev	Description	Date	By	Check
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Banstead Place

Client: Stonegate Homes

Existing: Main House - NE Elevations

PLANNING

18007 04/03/2018 1:100

P2 ED SPH A_EX_301

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01 Existing South East Elevation
1:100



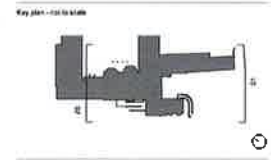
02 Existing North West Elevation
1:100



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- Notes**
- 1 Red brick with raking stretcher bond
 - 2 Red brick with flintish bond
 - 3 Red brick entrance lobby with brick and stone band detailing
 - 4 Brick band detailing
 - 5 Render
 - 6 Stone band detailing
 - 7 Covered walkway with red brick stretcher bond dwarf wall and glazed infill sections above
 - 8 Covered veranda with white painted columns, timber balustrade and upright infill sections
 - 9 Access ramp with steel handrail
 - 10 Timber frame sash oriel window
 - 11 Timber frame sash window
 - 12 Timber frame casement window
 - 13 Aluminium frame sash window
 - 14 Slate tiles
 - 15 Clay tiles



Rev	Date	Description	By	Check
1	19.03.19	Issue for Planning	SPH	ED
2	22.03.19	Issue for Planning	SPH	ED
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100	22.03.19	Issue for Planning	SPH	ED

Banstead Place

Stonegate Homes

Existing:
Main House - SE & NW Elevations

PLANNING

Project Number	Date	Scale	
16007	04/03/2019	1:100	
Revision	Drawn by	Appr. by	Client Ref/No.
P2	ED	SPH	A_EX_302

cousins
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Architects
10000 Churchfields
Newbury
RG16 2JH

01635 550000
01635 550001

182

Outline of building footprint above

01 Demolition Basement Plan
1/100



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No part of this drawing should be used to calculate areas for the purposes of valuation. All dimensions are shown for information only and such dimensions to be read as approximate. Do not make drawings.
All work must comply with relevant British Standards and Safety Regulations and Approved Documents. Drawing errors and omissions to be reported to the architect.
Key plan - not to scale



Key

- Existing wall
- Demolition of non-original fabric
- Demolition of original fabric

Table with 4 columns: Ref, Description, Quantity, Unit. The table contains a list of items related to the demolition project, including various materials and labor items.

Table with 3 columns: Ref, Description, Quantity. It lists specific items like 'P1 1422/1' and 'P1 2722/1' with their respective quantities.

Banstead Place

Stonegate Homes

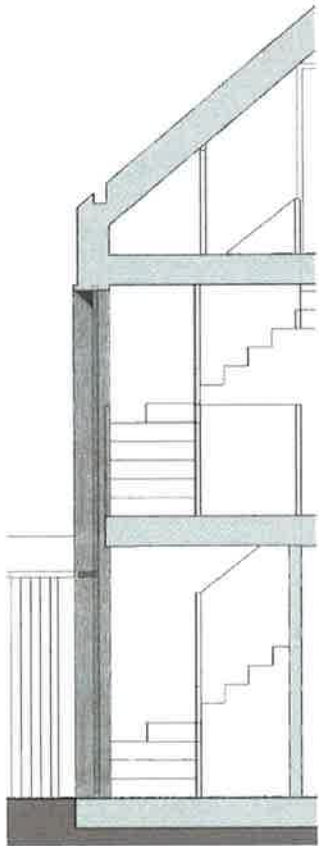
Demolition:
Main House - Basement Plan

PLANNING

Table with 3 columns: Ref, Date, Scale. It shows reference numbers like '18007' and '04/03/2019' along with a scale of '1:100'.



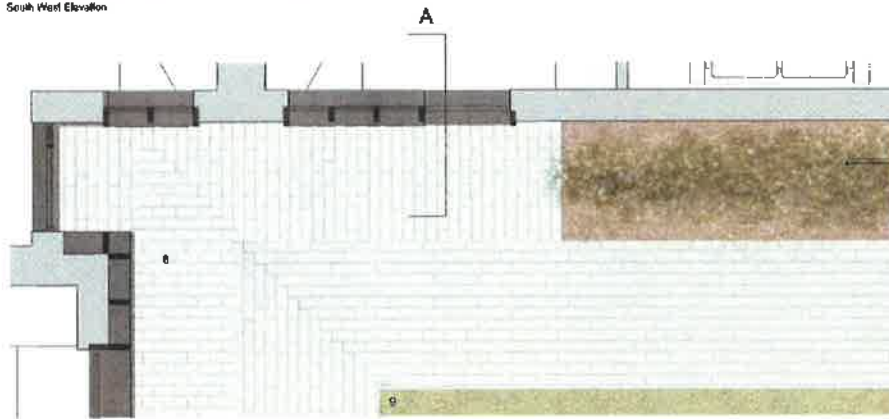
Notes - demolition of non-original fabric
1 Remove non-original services and fittings



Section A



South West Elevation



Ground Floor Plan

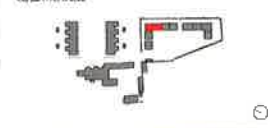
Refer to Landscape Architect information for landscape strategy including materials

- Notes**
- 1 Slate roof tiles
 - 2 Frameless fixed glazing
 - 3 Charred larch sill
 - 4 Concealed gutter
 - 5 Charred larch vertical cladding
 - 6 Timber frame double glazed casement operable window
 - 7 Charred larch front door with two glazed panels
 - 8 Brick paving
 - 9 Lawn

01 Walled Garden - Ground Floor Front Door - House Type 2
1:25



Daylight Counts & Energy Analysis
No impact on energy counts. This drawing should not be used to calculate areas for the purpose of valuation. All dimensions are checked on site to the centimetre and each dimension to be met. Responsibility: Do not scale drawings.
All work must comply with relevant British Standards and Building Regulations to meet the Building Regulations and standards to be located in the UK. All work must be completed in accordance with the Building Regulations and standards to be located in the UK.



Key

- ▣ External
- ▤ Internal
- ▴ Access Point

Rev	Description	Date	By	App'd
1	Issue for tender	22/02/2019	ED	SPH
2	Revised	22/02/2019	ED	SPH
3	Revised	22/02/2019	ED	SPH
4	Revised	22/02/2019	ED	SPH
5	Revised	22/02/2019	ED	SPH
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50	Revised	22/02/2019	ED	SPH

Banstead Place

Client: Stonegate Homes

External Openings
Ground Floor Front Door - House Type 2

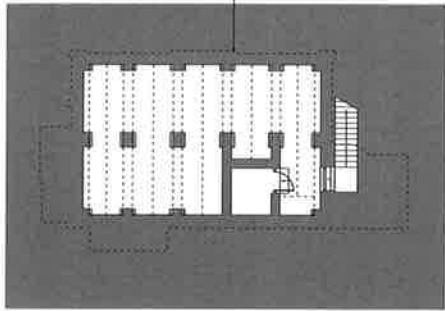
PLANNING

18007 22/02/2019 1:25

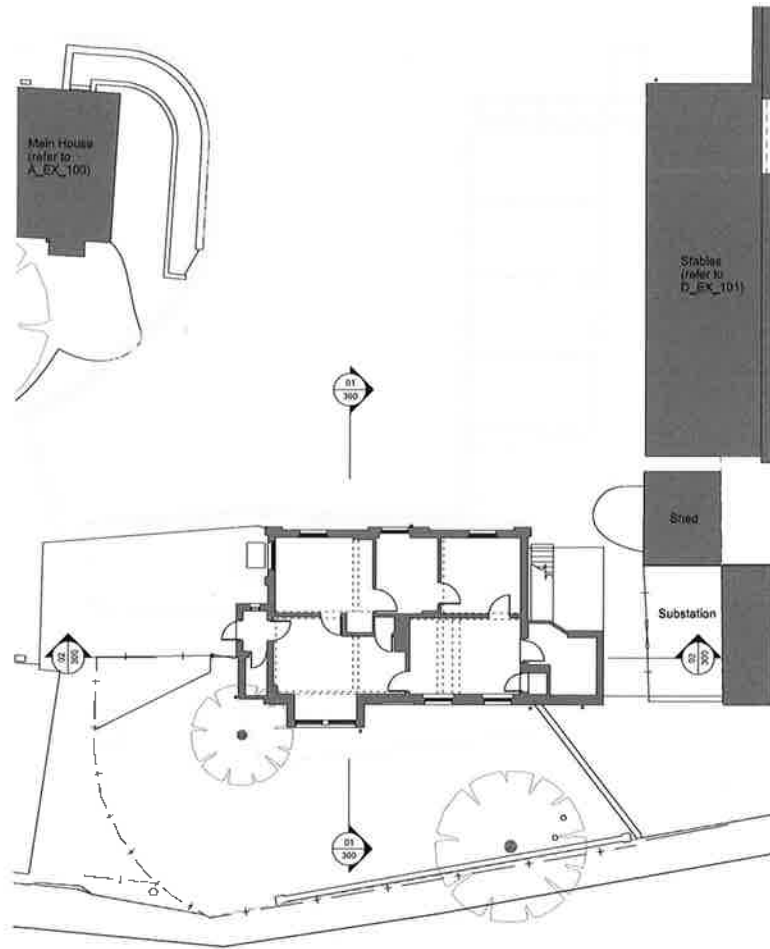
P1 ED SPH C_31_401



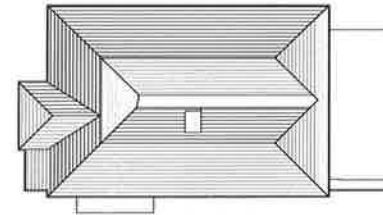
Dashed line denotes outline of building above



01 Existing Basement Plan
1:100



02 Existing Ground Floor Plan
1:100



03 Existing Roof Plan
1:100

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No liability is accepted for the accuracy of the information contained in this drawing. All dimensions are to be taken as shown on the drawing and such dimensions to be their responsibility. In the event of any discrepancy between the drawing and the site conditions, the drawing shall prevail.
All work undertaken shall comply with current British Standards and Building Regulations. Checklists, drawings and specifications to be applied to the project.
Site plan 1:1000 scale



Key

- site boundary
- ▒ existing wall
- structure

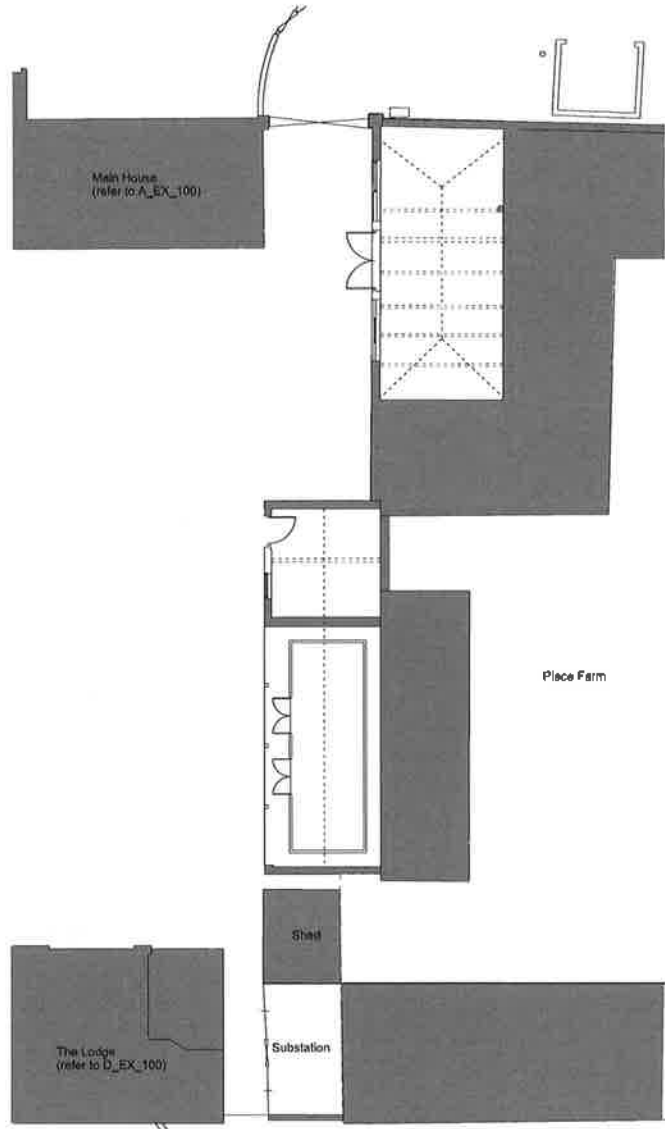
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Banstead Place

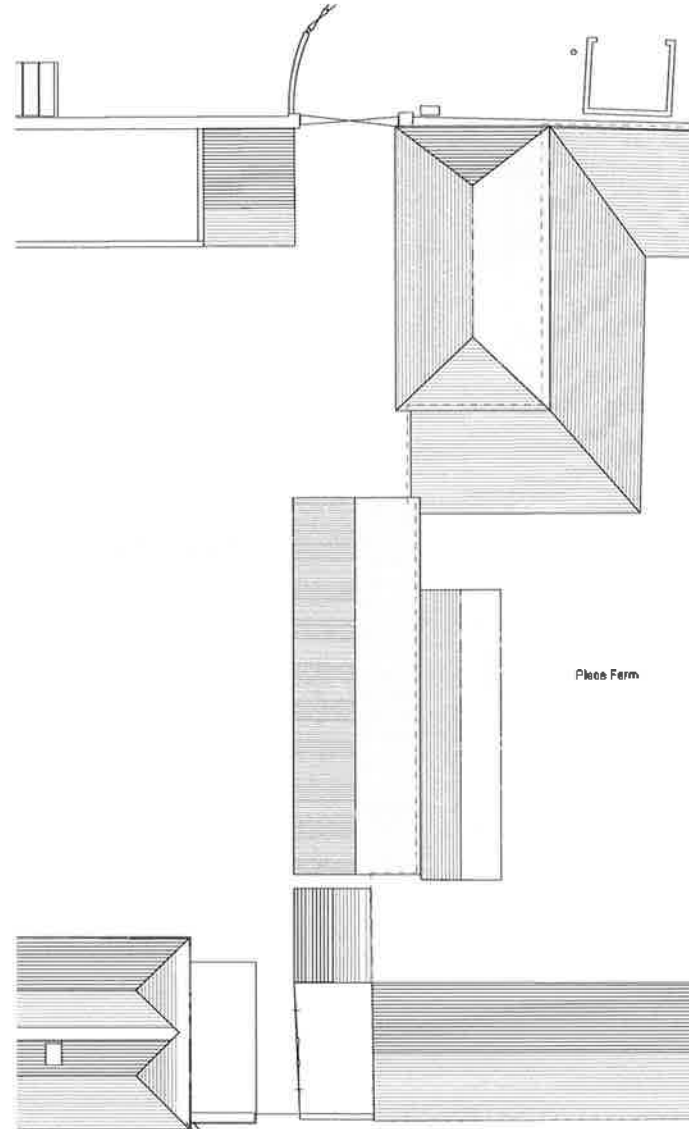
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Stonagate Homes		
Site		
Existing: Stable Yard - The Lodge Plans		
Project		
PLANNING		
Project Number	Date	Scale
18007	04/03/2018	1:100
Author	Drawn By	Check By
P2	PF	SPH
Drawn By	Check By	Drawn By
PF	SPH	D_EX_100

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Architects
100, The Quadrant, Banstead, Surrey, UK
020 8877 1111
www.cousins-architects.co.uk



01 Existing Ground Floor Plan
1:100



02 Existing Roof Floor Plan
1:100

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Key

- Existing Buildings
- Proposed Buildings

Ref	Description	Date	By	Check	Appr
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P2	Planning Application	04/03/2019	ED	SPH	

Banstead Place

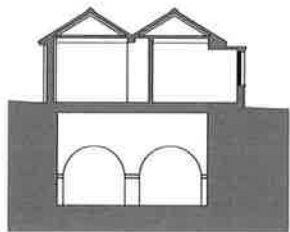
Stonegate Homes

Existing:
Stable Yard - Stables Plans

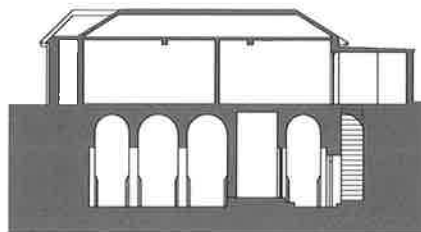
PLANNING

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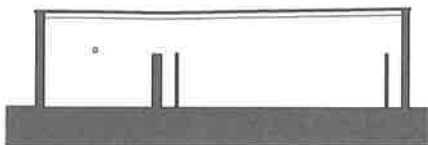




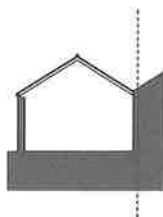
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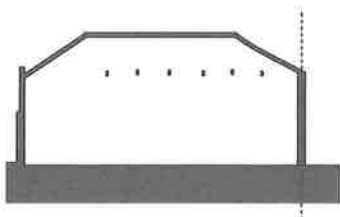
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05 Existing Section EE
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06 Existing Section FF
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Key plan - not to scale



Key
--- Existing
--- Proposed

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100	Issue for Planning	22/02/2019	SPH	ED

Banstead Place

18007
Stonegate Homes

Existing:
Stable Yard - Sections

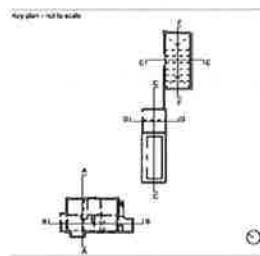
PLANNING

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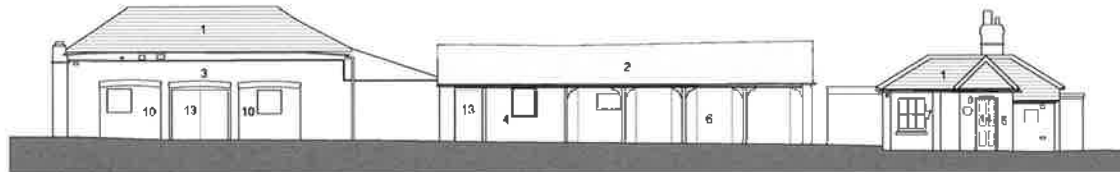
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201/201a From Hill Street
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www.cousinsarchitects.co.uk

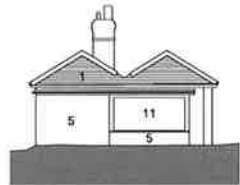




01 Existing North East Elevation
T/103



02 Existing North West Elevation
T/103



03 Existing South East Elevation
T/103



04 Existing South West Elevation
T/103



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Key
..... Boundary
■ Existing

- Notes**
- 1 Side gable
 - 2 Corrugated iron roof
 - 3 Red brick with Flemish bond
 - 4 Flint stone with red brick detailing
 - 5 Painted brickwork
 - 6 Timber cladding
 - 7 Timber frame sash windows
 - 8 Flat roof
 - 9 Fence
 - 10 White painted timber cladding
 - 11 Non-original windows
 - 12 Gate
 - 13 White painted door
 - 14 Black painted door



Rev	Description	Date	By	Check
01	Issue for Planning	22/02/2019	SPH	
02	Issue for Construction			
03				
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Banstead Place

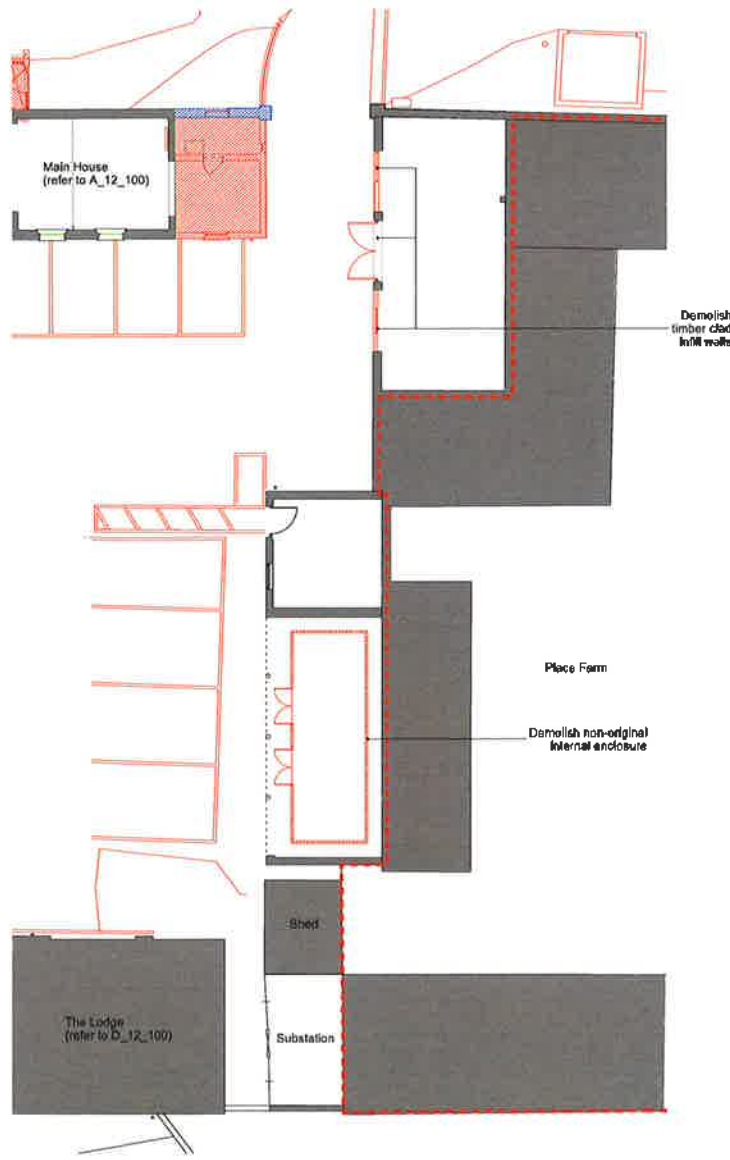
Stonogate Homes

Existing: Stable Yard - Elevations

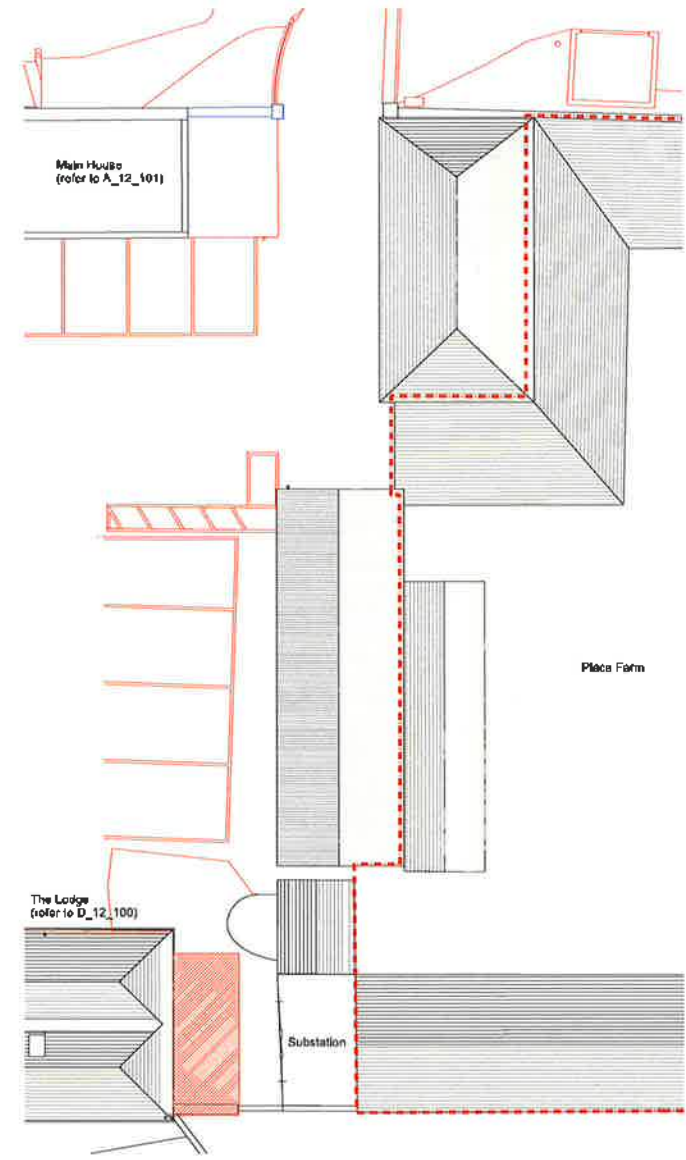
PLANNING

18007	22/02/2019	1:100
P1	SPH	D_EX_300





01 Demolition Ground Floor Plan
1:100



02 Demolition Roof Plan: Stable Yard
1:100

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Key plan - refer to A100

Key

- Existing structure
- Proposed structure
- Structure to be demolished
- Structure to be retained
- Structure to be replaced
- Structure to be replaced

Rev	Date	Description	By	Check
01	04/03/19	Issue for planning	AC	AC
02	04/03/19	Issue for planning	AC	AC
03	04/03/19	Issue for planning	AC	AC
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98	04/03/19	Issue for planning	AC	AC
99	04/03/19	Issue for planning	AC	AC
100	04/03/19	Issue for planning	AC	AC

Banstead Place

Client: Stonegate Homes

Demolition: Stable Yard - Stables Plans

PLANNING

18007 04/03/2019 1:100

P2 PF SPI D_12_101

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- Key**
- Boundary
 - Existing
 - Proposed to be retained (if applicable - where only)
 - Demolish (to be removed)

Revisions

- 1. (with architect's input)

P3	06/01/20	Planning amendment	5hr
P2	23/10/19	Planning amendment	5hr
P1	22/02/19	Planning Application	5hr
Pre	Draw	Technical Draw	1hr

Banstead Place

Client: Stonegate Homes

Project: Demolition: Site Plan

PLANNING

Project Number	Date	Scale
16007	06/01/2020	1:500

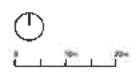
Number	Quantity	Approved By	Drawing No.
P3	ED	SPH	12_001

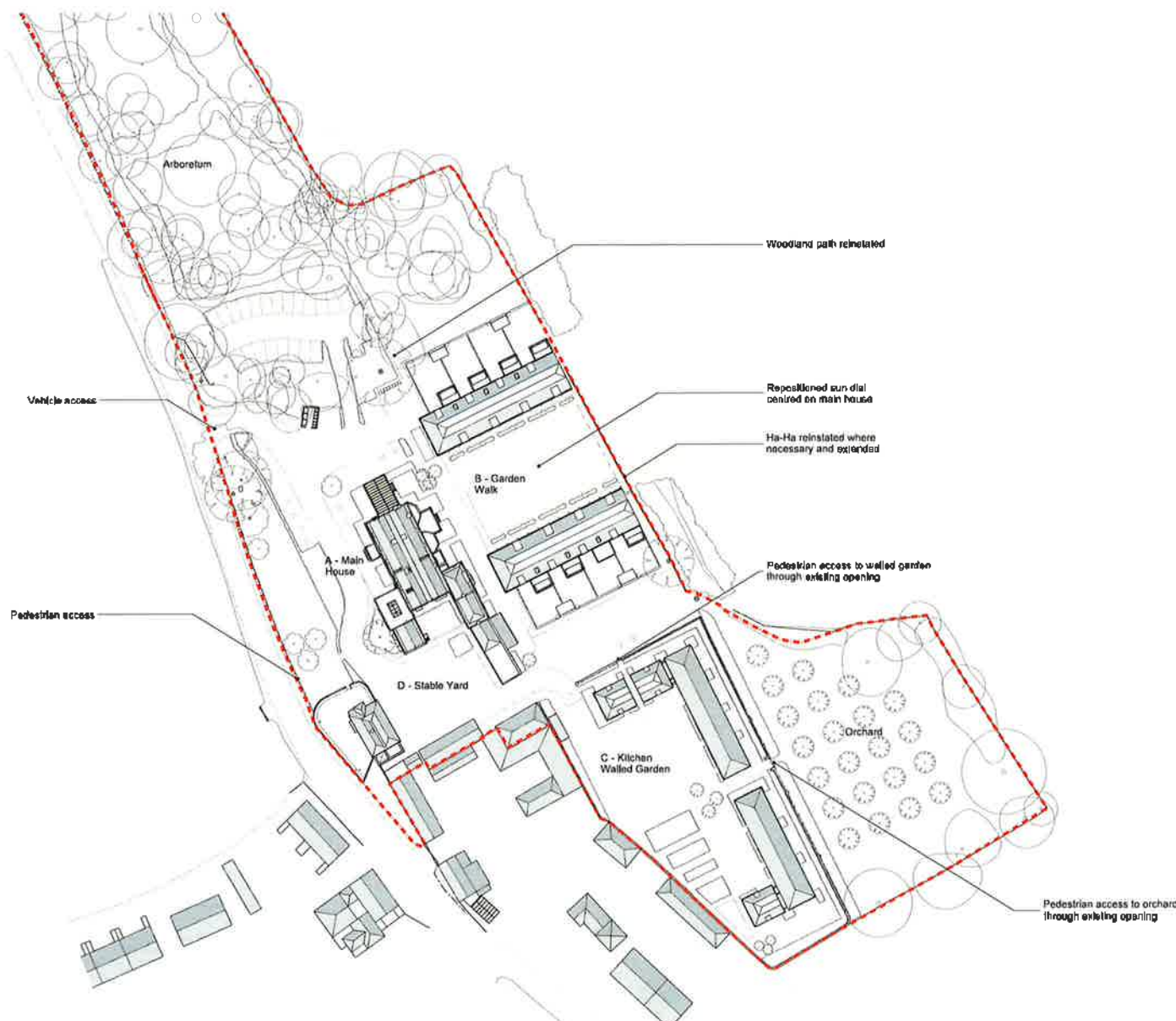
cousins
cousins

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 London W1P 0LP
 020 7638 0000
 www.cousinsarchitects.com



01 Demolition: Site plan
 1:500





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Key
 - - - - -

Revisions

1	Site plan on layout - Main house and garden
2	Revised site plan on layout

PS	08.03.20	Planning application	24%
PD	23.10.19	Planning application	24%
PI	27.07.19	Planning application	24%
F	12.01.18	Revised to Information	24%
F	10.01.18	Revised to Information	24%
D	21.12.14	Revised to Information	24%
C	20.12.14	Revised to Information	24%
B	18.08.14	Revised to Information	24%
A	06.10.13	Revised to Information	24%
-	20.01.13	Revised to Information	24%

Banstead Place

Stonegate Homes

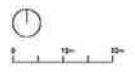
Proposed Site Plan

PLANNING

10007	06/01/2020	1:500
P3	ED	SPH
		20_001

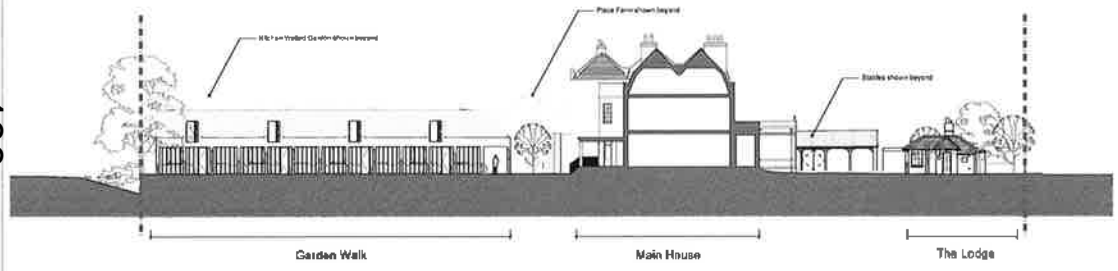


01 Proposed: Site plan
 1:500

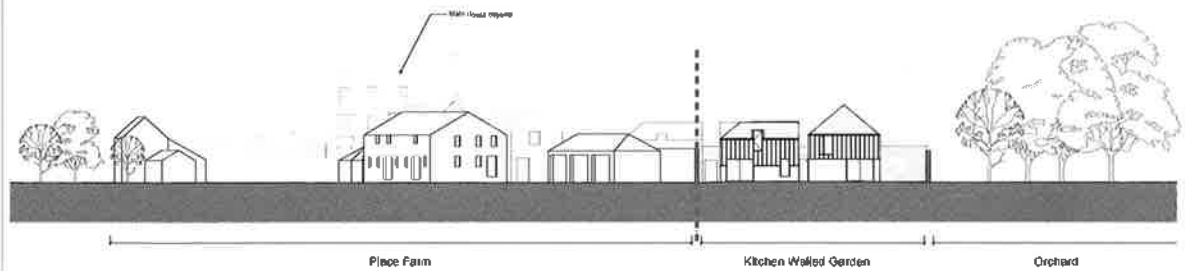




01 Proposed Site Section AA
1:250



02 Proposed Site Section BB
1:250



03 Proposed Site Section CC
1:250



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Key
 - - - - - Section Line

Revisions

1	Issue for planning
---	--------------------

PL	08.01.20	Planning amendment	0%
PL	22.10.19	Planning amendment	0%
PL	09.03.19	Planning amendment	0%
PL	22.02.19	Planning Application	0%

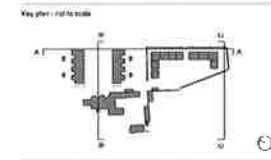
Banstead Place

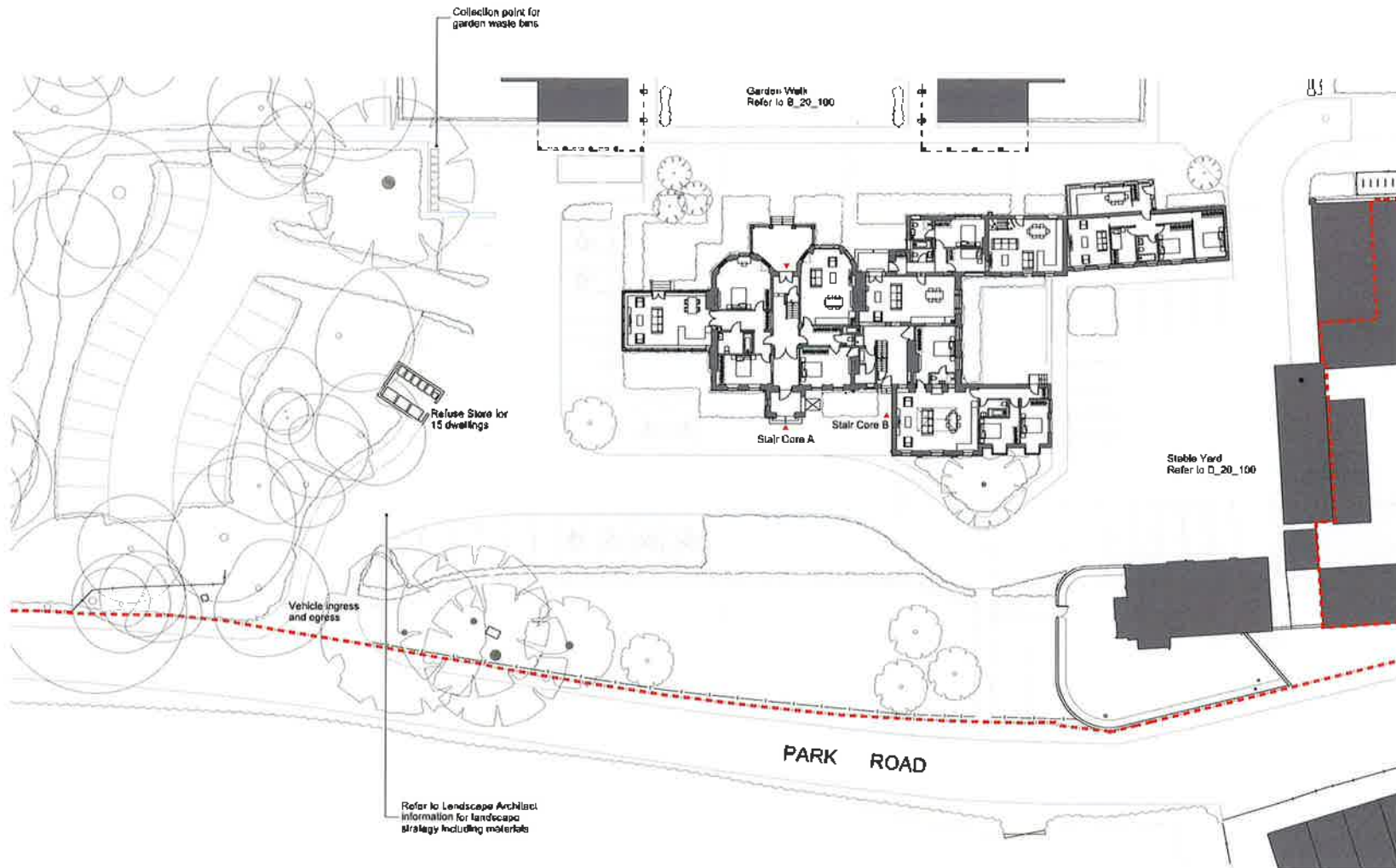
Client: Stonegate Homes

Proposed: Site Sections

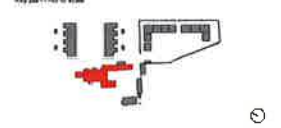
PLANNING

16007	06/01/2020	1:250
P4	ED	SPM
		20_200





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Key

- Proposed
- Existing
- Boundary
- Access

Revisions

- Red dashed line

No.	Date	Description	By
01	04/01/20	Planning submission	SH
02	22/03/20	Planning pre-application	SH
03	04/01/20	Planning pre-application	SH
04	27/01/20	Planning pre-application	SH
05	04/02/20	Issued for planning	SH
06	28/02/20	Issued for planning	SH
07	24/12/19	Issued for planning	SH

Banstead Place

Stonegate Homes

Proposed:
Main House - Site Plan

PLANNING

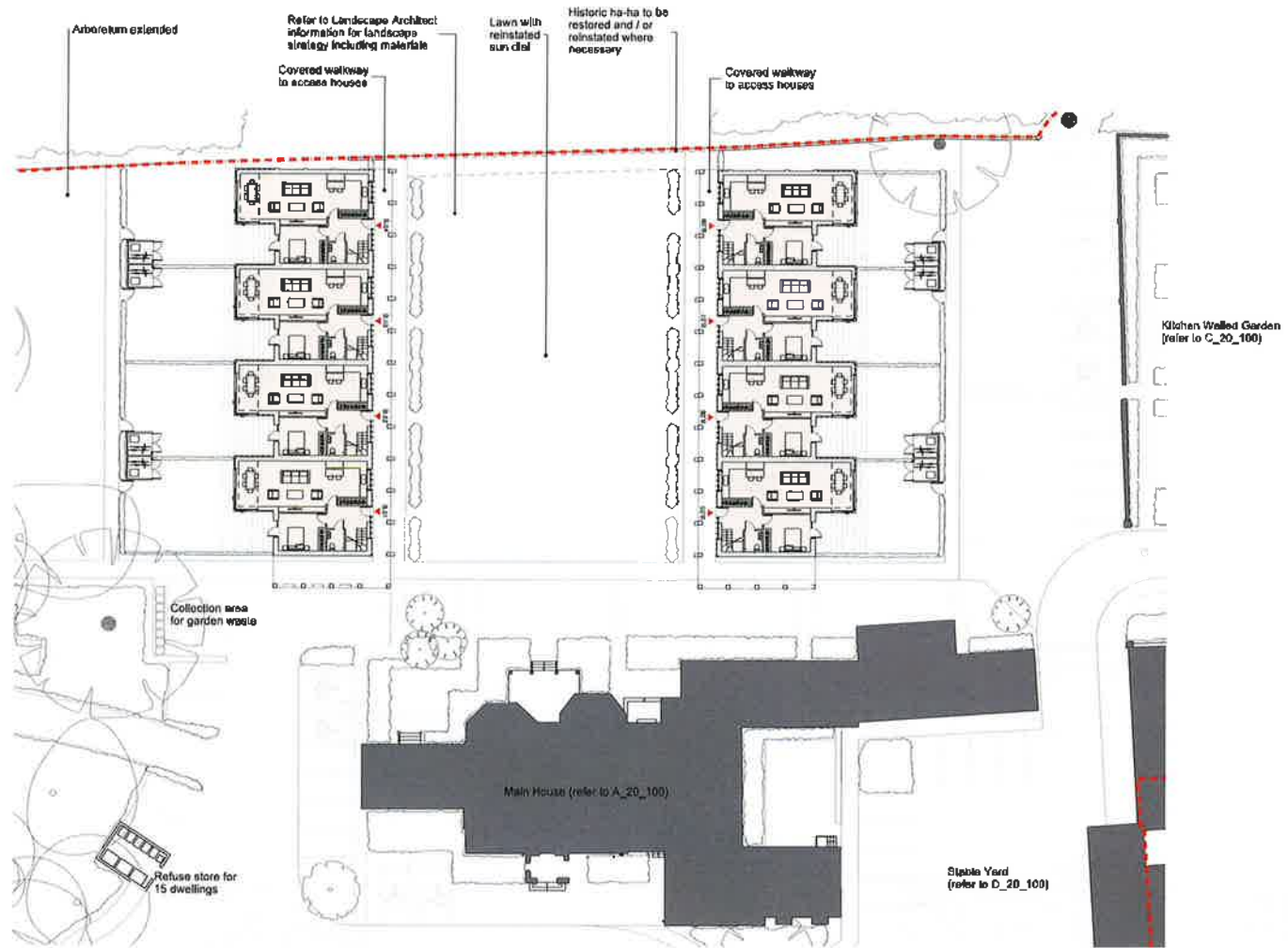
Reference	Date	Scale
16007	06/01/2020	1:200

P4 ED 5PH A_20_001

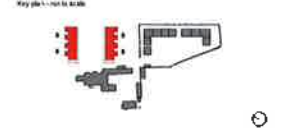


01 Proposed: Main House Site plan
1:200





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Key
 ■ Existing
 ■ Proposed
 ■ To be demolished

Accommodation Schedule

Unit	Area	Phase 1	Phase 2	Total
A.01	Apartment 1	12.5	12.5	25.0
A.02	Apartment 2	12.5	12.5	25.0
A.03	Apartment 3	12.5	12.5	25.0
A.04	Apartment 4	12.5	12.5	25.0
A.05	Apartment 5	12.5	12.5	25.0
A.06	Apartment 6	12.5	12.5	25.0
A.07	Apartment 7	12.5	12.5	25.0
A.08	Apartment 8	12.5	12.5	25.0
TOTAL	Apartment Total	100.0	100.0	200.0

Revisions
 1 Revised final schedule

PA	16.01.20	Planning application A	0%
PA	23.01.18	Planning application A	0%
PA	04.03.18	Planning application A	0%
PA	22.02.18	Planning application A	0%
B	01.02.18	Issue of Information	0%
A	20.01.18	Issue of Information	0%
F	21.12.18	Issue of Information	0%
Rev	Rev	Issue of Information	0%

Banstead Place
 Client: Stonegate Homes

Proposed:
Garden Walk - Site Plan

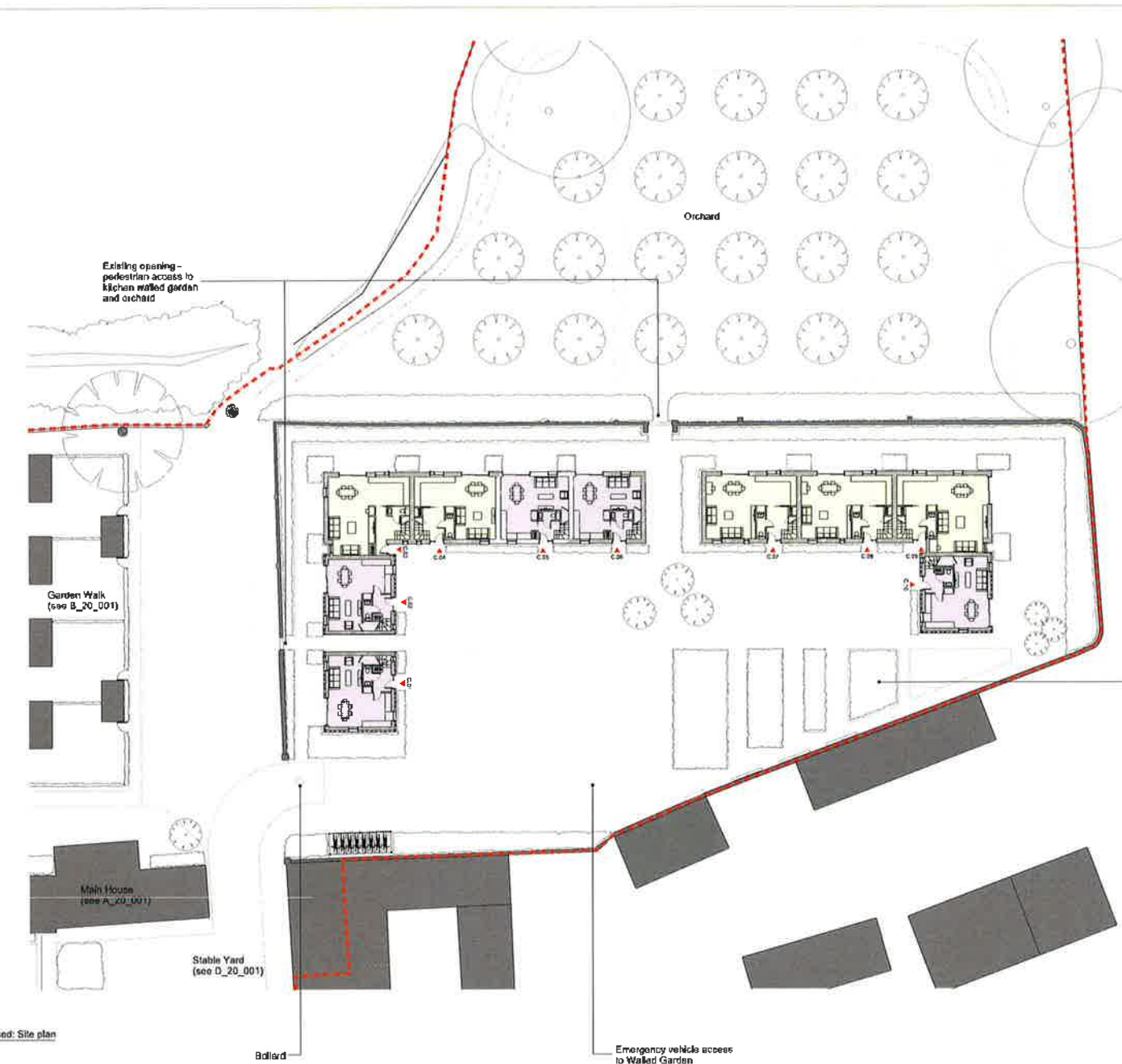
PLANNING

Project Number	Date	Scale of Plan
18007	06/01/2020	1:200

Revision	By	App. used	Rev. No. / Date
P4	ED	SPH	B_20_001

01 Proposed: Garden Walk - Site plan
 1:200





Existing opening - pedestrian access to kitchen walled garden and orchard

Garden Walk (see B_20_001)

Main House (see A_20_001)

Stable Yard (see D_20_001)

Billiard

Emergency vehicle access to Walked Garden

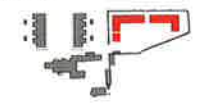
Orchard

Planting and footpath layout based on Hakuhi kitchen walled garden layout. Refer to Landscape Architect information for landscape strategy including materials

01 Proposed: Site plan 1/200



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 Key 001 - 10/11/2020



Key

Red dashed line	Proposed path	Green	Green
Black outline	Building	Yellow	Yellow
Red triangle	Fire alarm		

Accommodation Schedule

Unit	Bedrooms	Bathrooms	Car Spaces	Notes
Unit 1	2	1	1	200sqm
Unit 2	2	1	1	200sqm
Unit 3	2	1	1	200sqm
Unit 4	2	1	1	200sqm
Unit 5	2	1	1	200sqm
Unit 6	2	1	1	200sqm
Unit 7	2	1	1	200sqm
Unit 8	2	1	1	200sqm
Unit 9	2	1	1	200sqm
Unit 10	2	1	1	200sqm
Unit 11	2	1	1	200sqm
Unit 12	2	1	1	200sqm
Unit 13	2	1	1	200sqm
Unit 14	2	1	1	200sqm
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Unit 46	2	1	1	200sqm
Unit 47	2	1	1	200sqm
Unit 48	2	1	1	200sqm
Unit 49	2	1	1	200sqm
Unit 50	2	1	1	200sqm

Revisions

No.	Description
1	Preparation

No.	Date	Description	By
01	08/11/20	Planning preparation	SPH
02	13/11/20	Planning preparation	SPH
03	04/12/20	Planning preparation	SPH
04	22/12/20	Planning preparation	SPH
05	01/12/20	Issued for information	SPH
06	01/12/20	Issued for information	SPH

Banstead Place

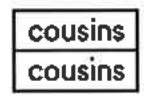
Storegate Homes

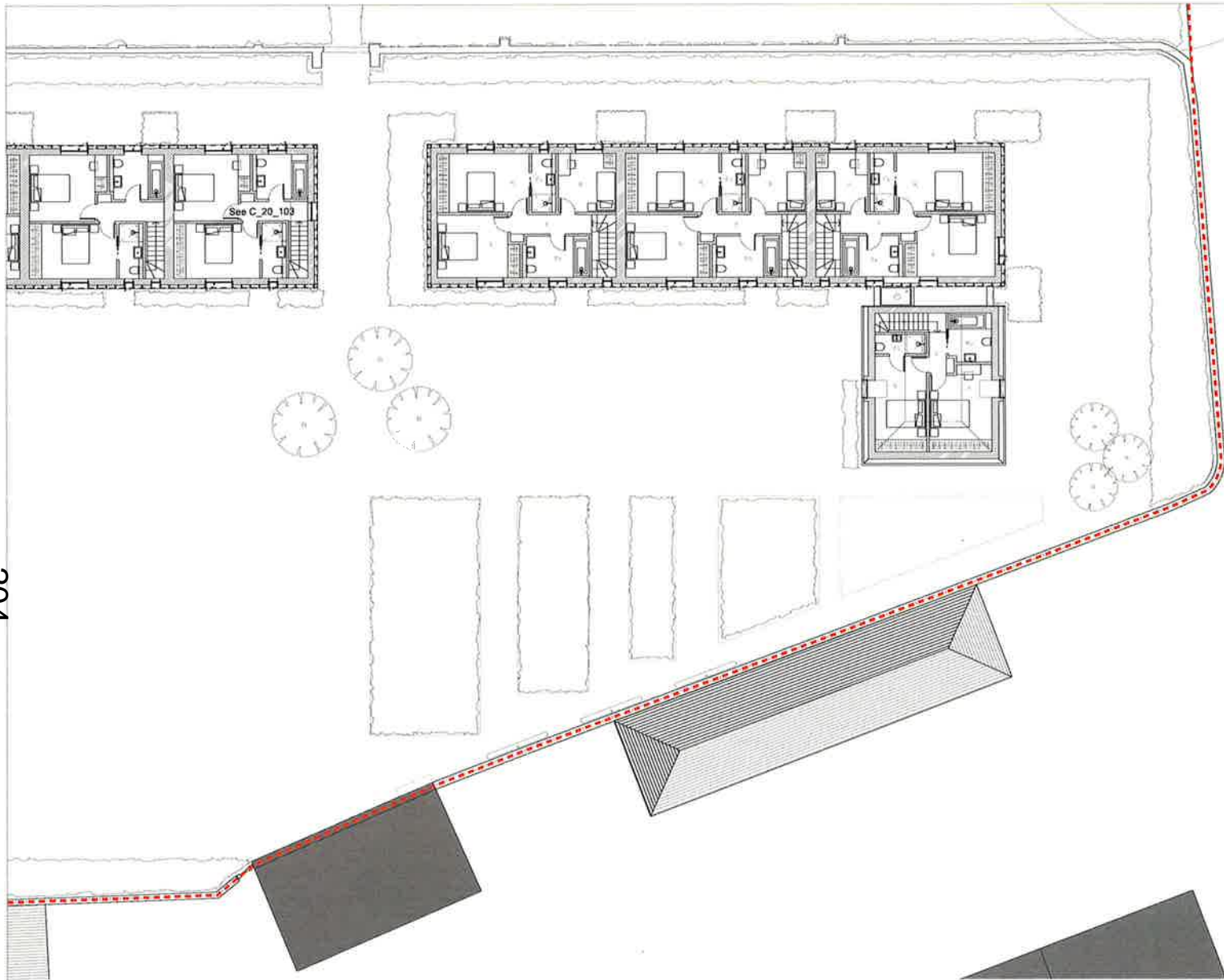
Proposed:
 Walled Garden - Site Plan

PLANNING

18007 06/01/2020 1:200

P4 ED SPH C_20_001





01 Proposed First Floor Plan
1/100



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Key 001 - Not to scale



- Key**
- 001 - Not to scale
 - 002 - Existing
 - 003 - Proposed
 - 004 - Wall to be built
 - 005 - Wall to be removed
 - 006 - Wall to be retained
 - 007 - Wall to be replaced
 - 008 - Wall to be replaced
 - 009 - Wall to be replaced
 - 010 - Wall to be replaced
 - 011 - Wall to be replaced
 - 012 - Wall to be replaced
 - 013 - Wall to be replaced
 - 014 - Wall to be replaced
 - 015 - Wall to be replaced
 - 016 - Wall to be replaced
 - 017 - Wall to be replaced
 - 018 - Wall to be replaced
 - 019 - Wall to be replaced
 - 020 - Wall to be replaced

Revisions

1. 18/01/2020

#	Date	Description	By
P3	06/01/2020	Planning amendment	SPH
P2	23/10/19	Planning amendment	SPH
P1	22/08/19	Planning Application	SPH
E	18/01/2020	Issued for Information	SPH

Banstead Place

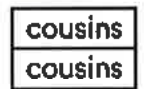
Stonegate Homes

Proposed:
Walled Garden - First Floor Plan 2

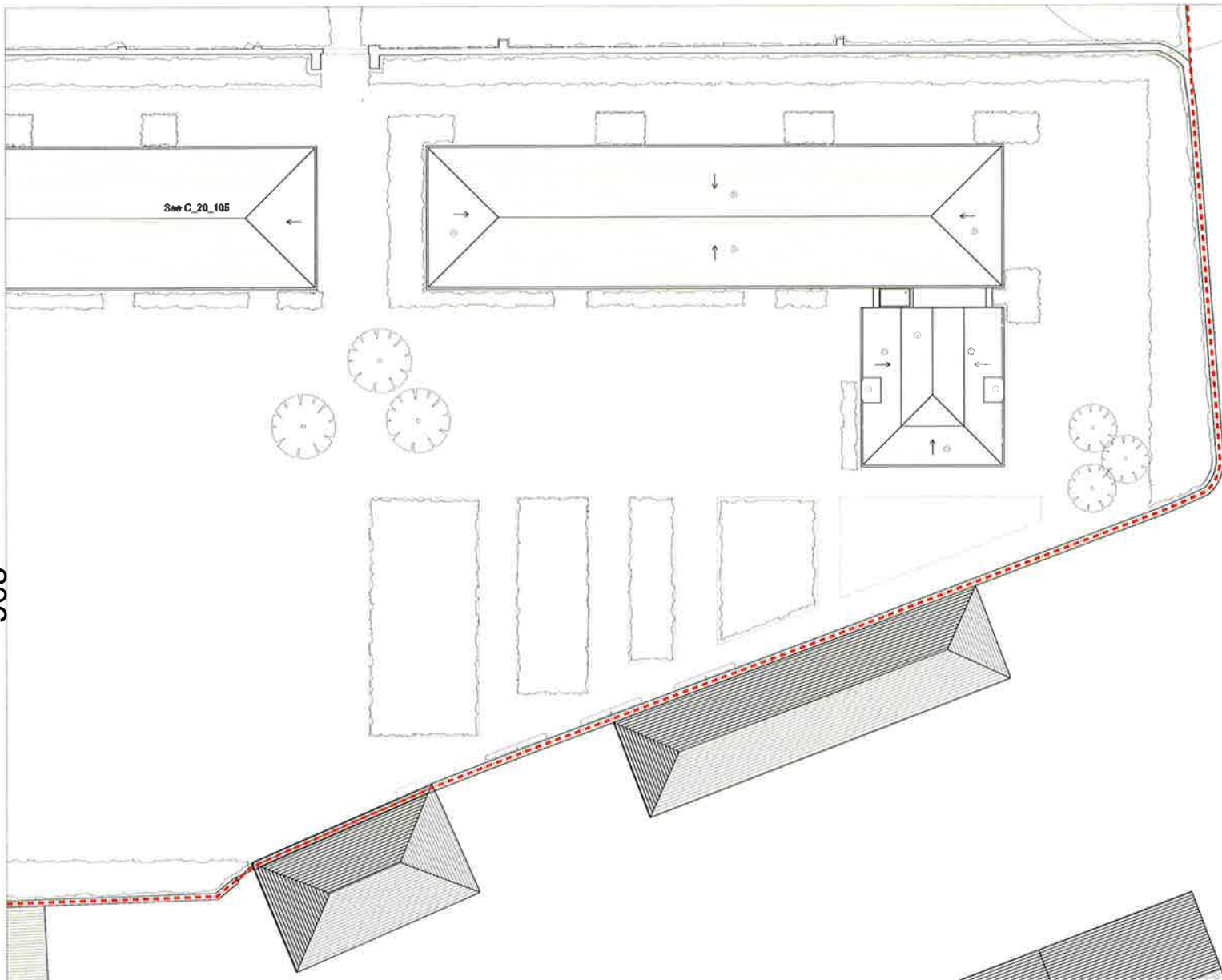
PLANNING

Application No.	Date	Scale
18007	06/01/2020	1:100

Author	Checker	Approver	Scale
P3	ED	SPH	C_20_103



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100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



See C_20_105

01 Proposed Roof Plan
1:100



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 Key shall not be used.



Key

- Proposed Work
- Existing Work
- Retained Work
- Boundary
- Proposed

Revisions

No.	Description
1	Final

P1	06.01.20	Finaly approved	SPH
P2	22.05.19	Planning application	SPH
P3	22.05.19	Planning Application	SPH
ED		Drawn by	

Banstead Place

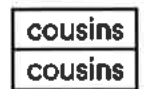
Client: Stonegate Homes

Proposed: Walled Garden - Roof Plan 2

PLANNING

Ref	Date	Version
16007	06/01/2020	1:100

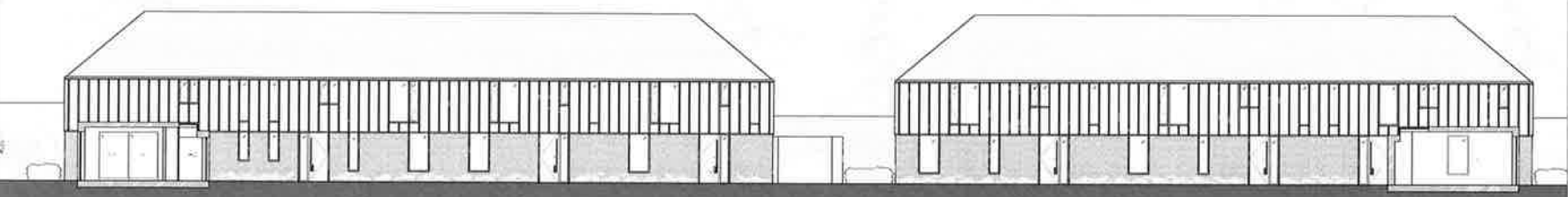
P3	ED	SPH	C_20_106
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 100, The Quadrant, Banstead, Surrey, UK
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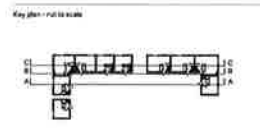
01 Section AA
1:100



02 Section BB
1:100



03 Section CC
1:100



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Checklists, drawings and schedules to be referred to the architect.
Key plan - not to scale



- Key**
- External Wall
 - ▨ Internal Wall
 - A. Airbrick
 - B. Window
 - C. Door
 - D. Stair
 - E. Staircase
 - F. Staircase
 - G. Staircase
 - H. Staircase
 - I. Staircase
 - J. Staircase
 - K. Staircase
 - L. Staircase
 - M. Staircase
 - N. Staircase
 - O. Staircase
 - P. Staircase
 - Q. Staircase
 - R. Staircase
 - S. Staircase
 - T. Staircase
 - U. Staircase
 - V. Staircase
 - W. Staircase
 - X. Staircase
 - Y. Staircase
 - Z. Staircase

Revisions

1	Plan submitted
---	----------------

P1	28.07.21	Planning amendment	SPH
P2	22.10.19	Planning amendment	SPH
P3	22.03.19	Planning Application	SPH
Rev	Date	Revised By	SPH

Banstead Place

Client: Stonegate Homes

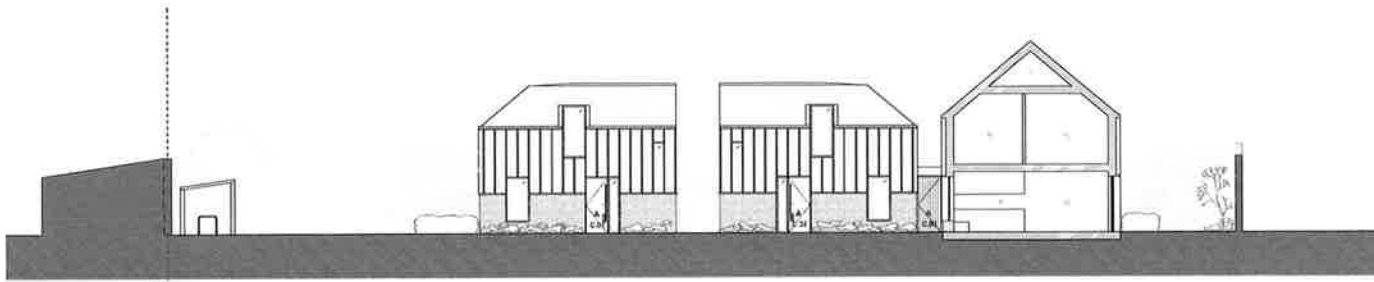
Proposed: Walled Garden - Sections AA BB CC

PLANNING

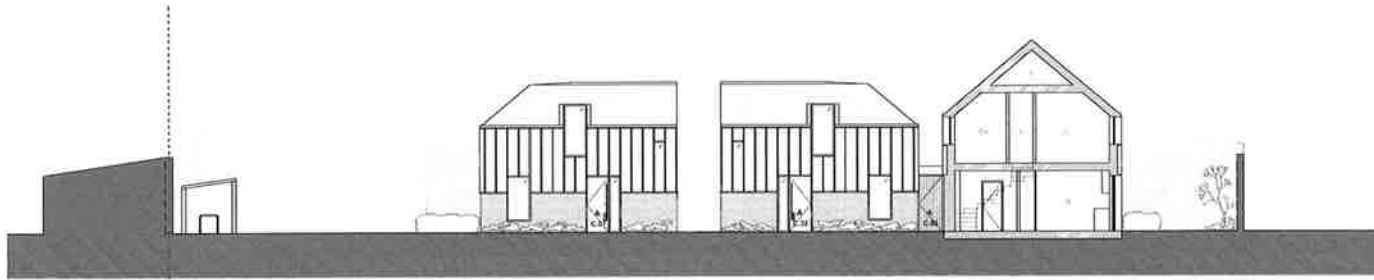
18007	06/01/2020	1:100
P3	ED	SPH
C_20_200		

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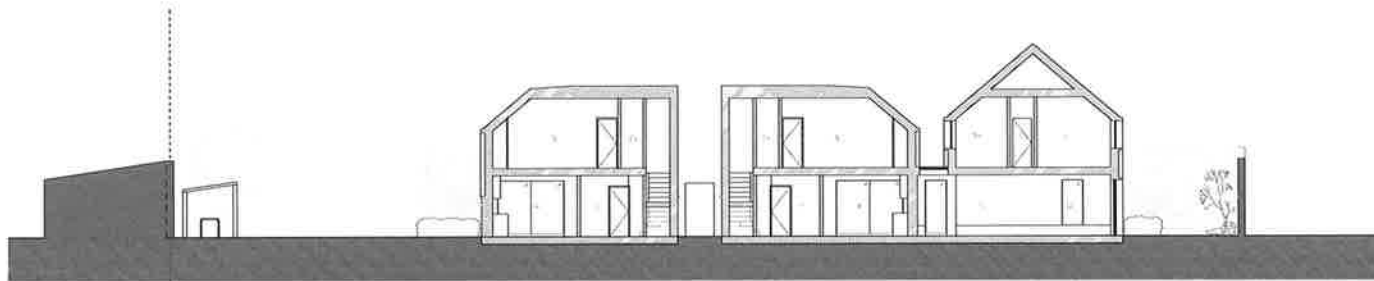
100% of profits donated to charity
100% of profits donated to charity
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01 Section DD
1:100



02 Section EE
1:100



03 Section FF
1:100



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 Key plan - not to scale



Key

- 1. External Wall
- 2. Internal Wall
- 3. Window
- 4. Door
- 5. Staircase
- 6. Floor
- 7. Ceiling
- 8. Roof
- 9. Garden
- 10. Path
- 11. Wall
- 12. Fence
- 13. Tree
- 14. Plant

Revisions

1	As approved
---	-------------

P3	08/01/20	Planning consent	S/N
P2	23/10/18	Planning consent	S/N
P1	22/02/18	Planning consent	S/N
Rev	Date	Revised by	Scale

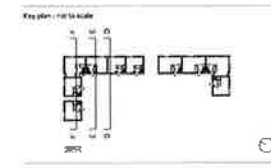
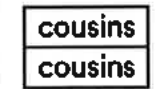
Banstead Place

Client: Stonegate Homes

Proposed: Walled Garden - Sections DD EE FF

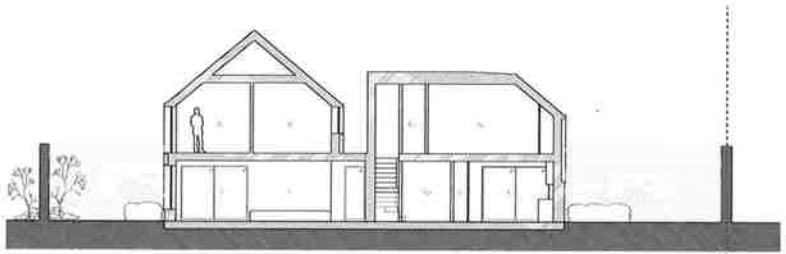
PLANNING

18007	08/01/2020	1:100	
P3	ED	SPH	C_20_201

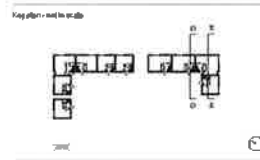




01 Section GG
1:100



02 Section HH
1:100



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- Key**
- 2D Section
 - 3D Section
 - 4D Section
 - 5D Section
 - 6D Section
 - 7D Section
 - 8D Section
 - 9D Section
 - 10D Section
 - 11D Section
 - 12D Section
 - 13D Section
 - 14D Section
 - 15D Section
 - 16D Section
 - 17D Section
 - 18D Section
 - 19D Section
 - 20D Section

Revisions

Rev	Description
1	Final submission

Rev	Date	Description	By
P3	06/01/20	Planning submission	SPH
P2	22/05/19	Planning submission	SPH
P1	02/02/19	Planning Application	SPH

Banstead Place

Client: **Stonagale Homes**

Proposed: **Walled Garden - Sections GG HH**

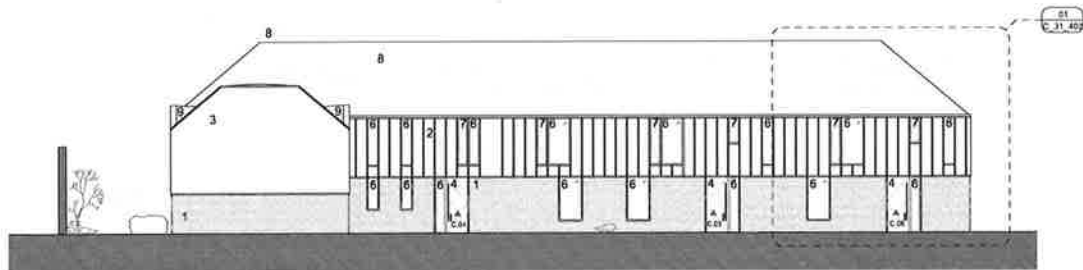
PLANNING

Project Number	Date	Scale
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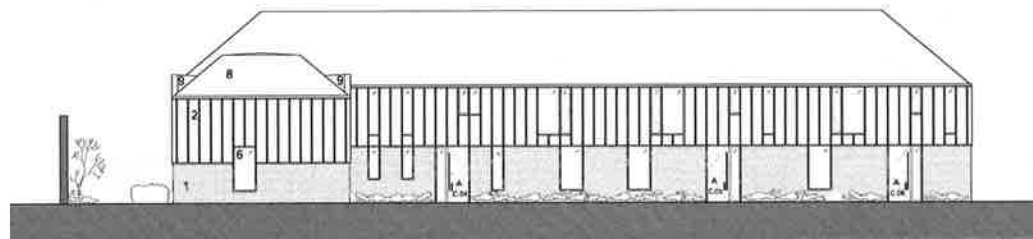
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Banstead, Surrey
Surrey

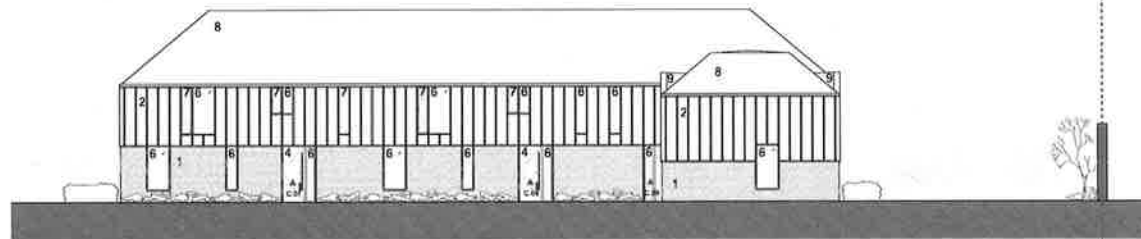
020 8877 1111
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01 Proposed SW Elevation
1:100



02 Proposed SW Elevation
1:100

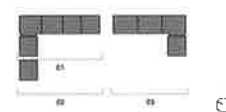


03 Proposed SW Elevation
1:100

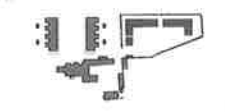


- Notes**
- 1 Knapped flint
 - 2 Deep fin charred larch frame with charred larch vertically clad infill
 - 3 Charred larch vertical cladding
 - 4 Charred larch front door
 - 5 Charred larch front door with two glazed panels
 - 6 Frameless fixed glazing
 - 7 Timber frame double glazed casement window
 - 8 Slate roof tiles
 - 9 Zinc roof

Key plan - north scale



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Key plan - north scale



Key

- 1 Knapped flint
- 2 Deep fin charred larch frame with charred larch vertically clad infill
- 3 Charred larch vertical cladding
- 4 Charred larch front door
- 5 Charred larch front door with two glazed panels
- 6 Frameless fixed glazing
- 7 Timber frame double glazed casement window
- 8 Slate roof tiles
- 9 Zinc roof

Revisions

- 1 Plan submitted

R1	06/01/20	Plan submitted	0%
R2	23/01/20	Plan submitted	0%
R3	04/02/20	Plan submitted	0%
R4	27/02/20	Plan submitted	0%

Banstead Place

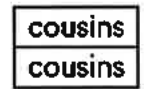
Stonegate Homes

Proposed:
Walled Garden - SW Elevations

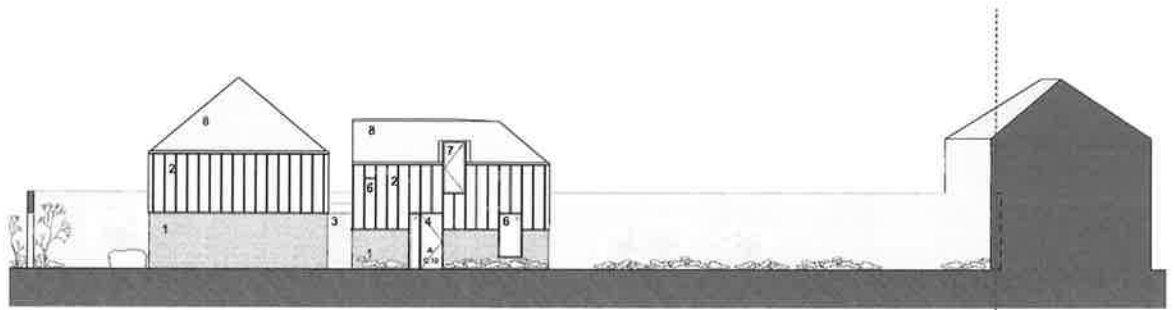
PLANNING

18007 06/01/2020 1:100

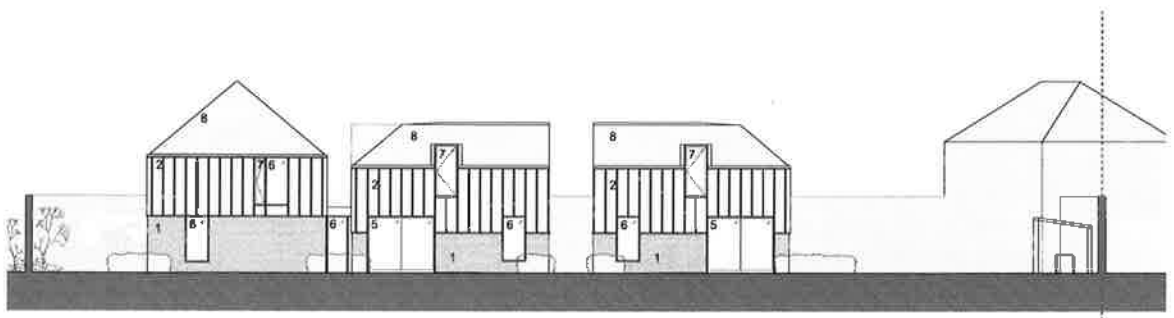
P4 ED SPH C_20_300



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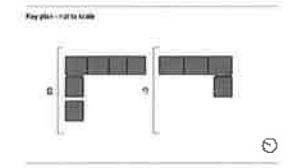
01 Proposed NW Elevation
1:100



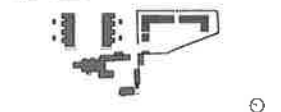
02 Proposed NW Elevation
1:100



- Notes**
- 1 Knapped flint
 - 2 Deep fin charred larch frame with charred larch vertically clad infills
 - 3 Charred larch vertical cladding
 - 4 Charred larch front door
 - 5 Sliding door
 - 6 Frameless fixed glazing
 - 7 Timber frame double glazed casement window
 - 8 Slate roof tiles
 - 9 Zinc roof



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Key plan - not to scale



- Key**
- site boundary
 - existing wall
 - proposed wall
 - ▲ existing window

Revisions

Rev	Description
1	Plan amendments

Rev	Date	Description	By
P3	06.01.20	Planning amendment 1	SPH
P2	23.10.19	Planning Amendment 1	SPH
P1	22.01.19	Planning & pre-application	SPH

Banstead Place

Client: Stonagata Homes

Proposed: Walled Garden - NW Elevation

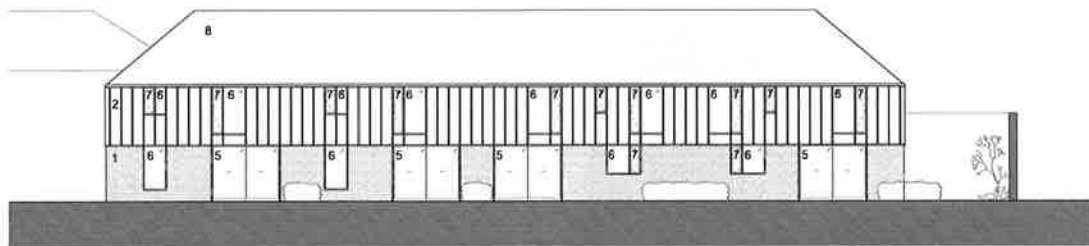
PLANNING

Planning Number	Date	Scale (Drawing)
16007	06/01/2020	1:100

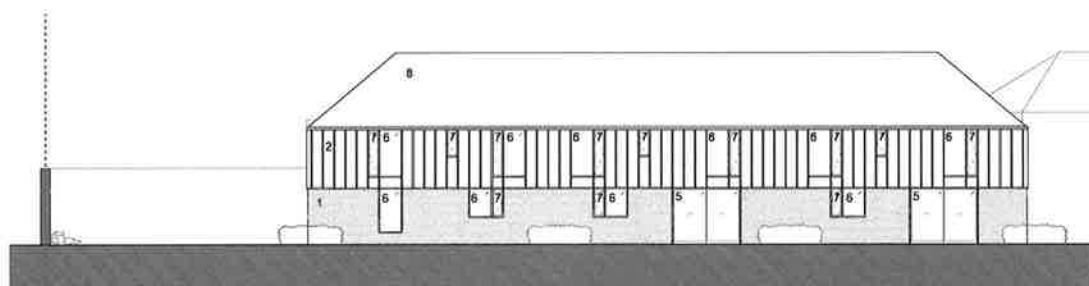
Project	Client	Applicant	Site Reference
P3	EO	SPH	C_20_301

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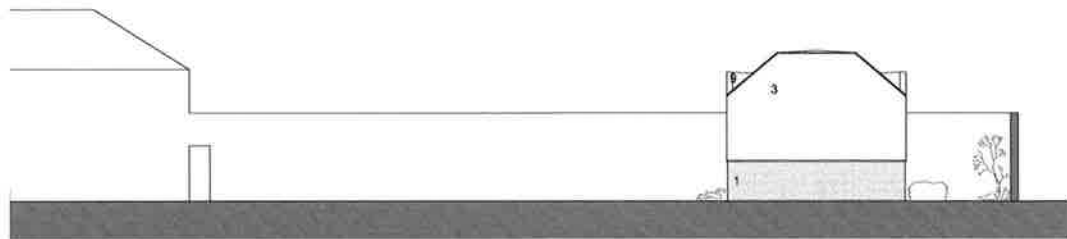
Architects
100-110 Old Kent Road
London SE1 1UL
020 7923 4000
www.cousinsarchitects.com



01 Proposed NE Elevation
1/100



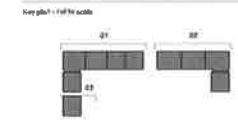
02 Proposed NE Elevation
1/100



03 Proposed NE Elevation
1/100



- Notes**
- 1 Knapped flint
 - 2 Deep fin charred larch frame with charred larch vertically clad infill
 - 3 Charred larch vertical cladding
 - 4 Charred larch front door
 - 5 Glazed sliding door
 - 6 Frameless fixed glazing
 - 7 Timber frame double glazed casement window
 - 8 Slate roof / Mes
 - 9 Zinc roof



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- Key**
- Proposed
 - Existing
 - Boundary
 - Access

Revisions

Rev	Description
1	Issue for tender

Rev	Date	Description	By
P1	20/01/20	Planning submission	SPH
P2	23/01/20	Planning amended	SPH
P3	22/02/20	Planning updated	SPH

Banstead Place

Client: Stonegate Homes

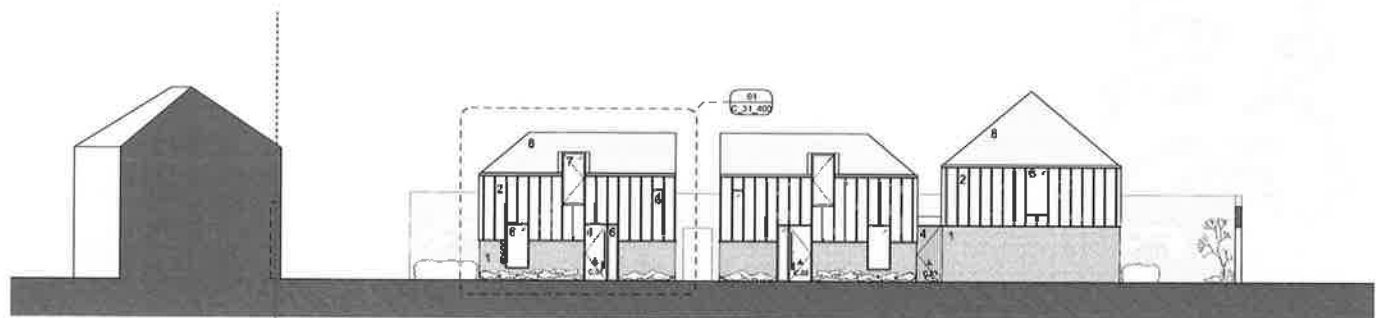
Project: Proposed: Welled Garden - NE Elevations

PLANNING

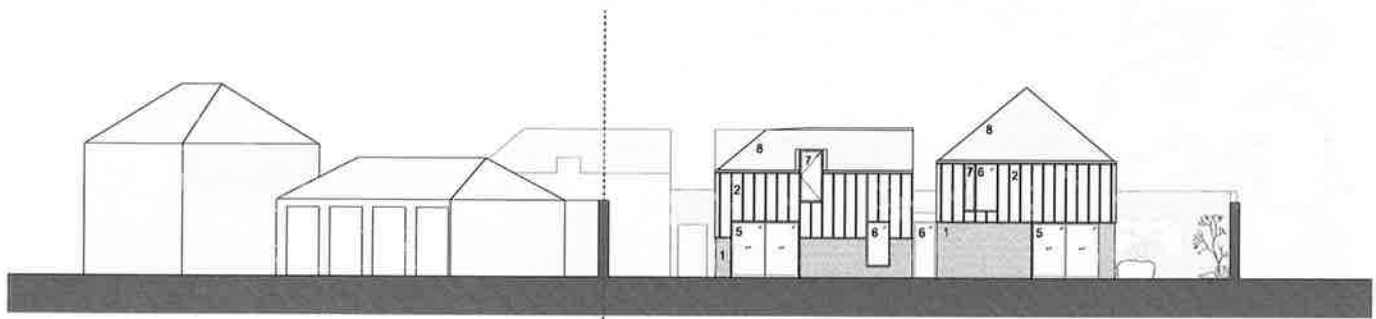
Planning No.	Date	Scale
18007	06/01/2020	1:100

Rev	Author	Checked	Scale
P3	ED	SPH	C_20_302





01 Proposed SE Elevation
1/100

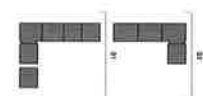


02 Proposed SE Elevation
1/100

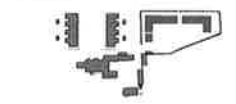


- Notes**
- 1 Knopped flint
 - 2 Deep flt charred larch frame with charred larch vertically clad infill
 - 3 Charred larch vertical cladding
 - 4 Charred larch front door
 - 5 Glazed sliding door
 - 6 Frameless fixed glazing
 - 7 Timber frame double glazed casement window
 - 8 Slate roof tiles
 - 9 Zinc roof

Key 001 - not to scale



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Key 001 - not to scale



- Key**
- 0.00 level
 - 0.00 level
 - 0.00 level
 - 0.00 level

Revisions

1 - Plan completed

No.	Date	Description	By
01	05/11/20	Planning Application	SPH
02	23/05/20	Planning Application	SPH
03	04/02/20	Planning Application	SPH
04	02/02/20	Planning Application	SPH
05	02/02/20	Planning Application	SPH

Banstead Place

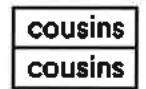
Stonegate Homes

Proposed:
Walled Garden - SE Elevations

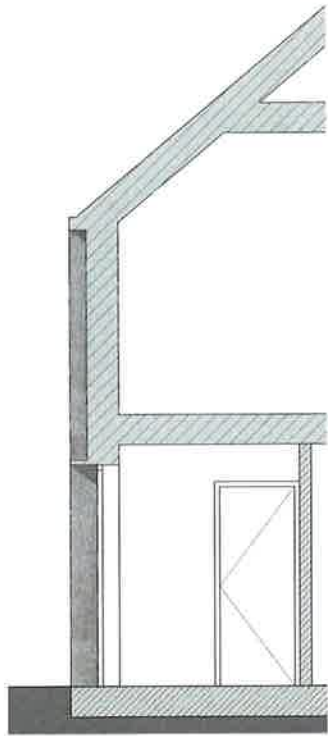
PLANNING

Project Number	Date	Scale
18007	05/01/2020	1:100

Project	Client	Architect	Planning Ref
P4	ED	SPH	C_20_303



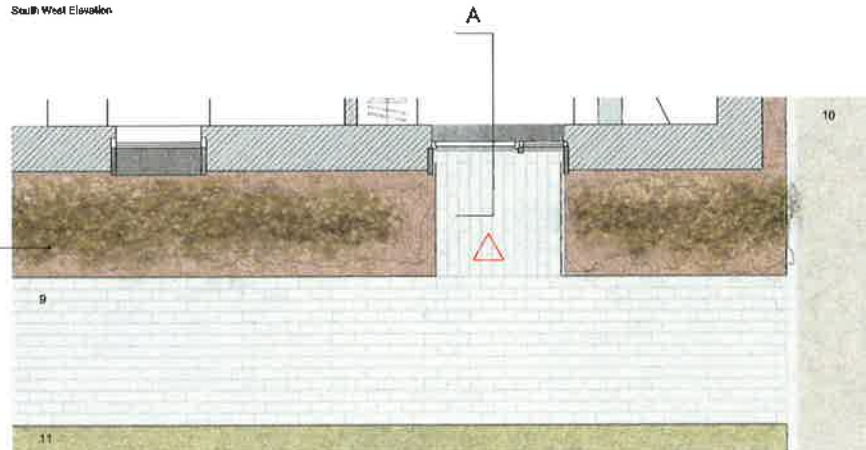
10 Cousins Cousins Architects
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Section A



South West Elevation



Ground Floor Plan

Refer to Landscape Attached Information for landscape strategy including materials

01 Walled Garden - Ground Floor Front Door - House Type 3
1/25



- Notes**
- 1 Slate roof tiles
 - 2 Framless fixed glazing
 - 3 Charred larch sill
 - 4 Gutter in colour to match slate
 - 5 Knapped flint
 - 6 Deep fin charred larch frame with charred larch vertically clad infills
 - 7 Timber frame double glazed casement operable window with restrictor
 - 8 Charred larch front door
 - 9 Brick paving
 - 10 Resin bound gravel path
 - 11 Level

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- Key**
- █ Existing
 - █ Proposed
 - Access

Restrictions

- 1. No alterations

P3	06/11/20	Planning permission	SPH
P2	23/10/19	Planning permission	SPH
P1	22/04/19	Planning permission	SPH
PL	22/04/19	Approved by LA	SPH

Banstead Place

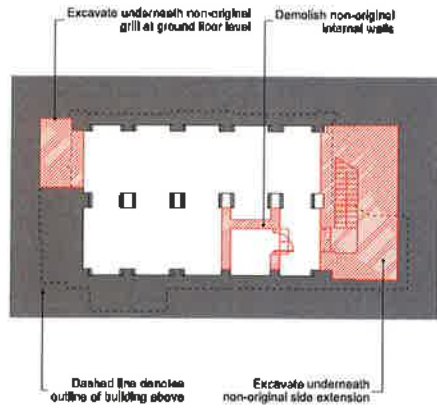
Stonegate Homes

External Openings
Ground Floor Front Door - House Type 3

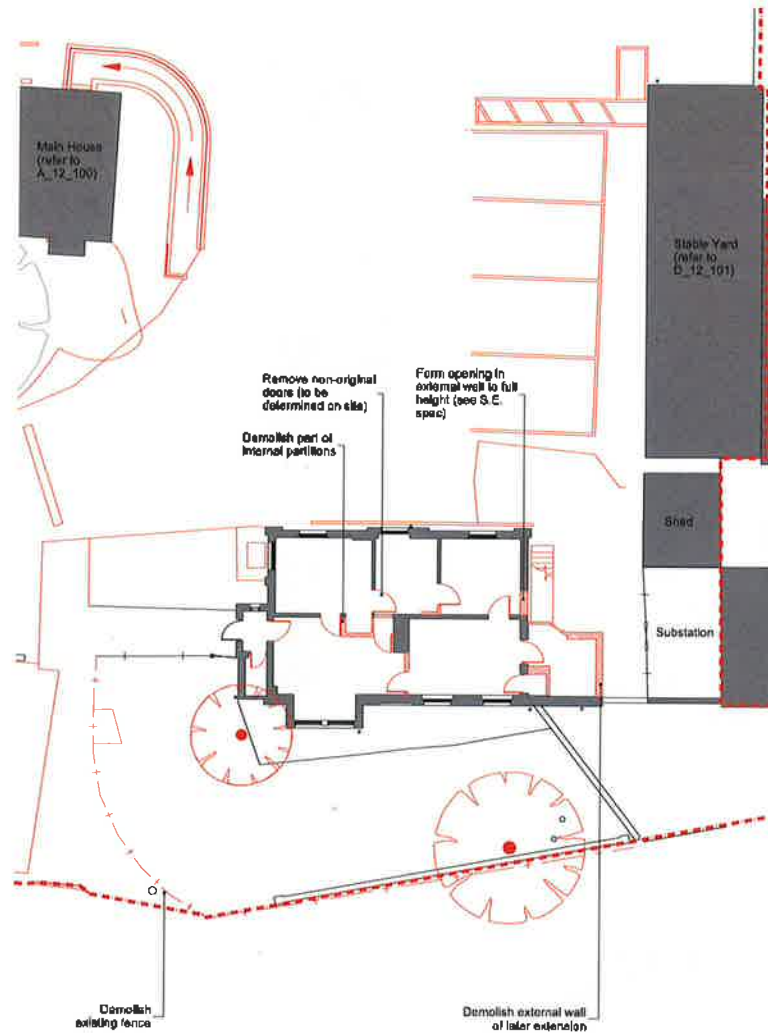
PLANNING

16007	06/01/2020	1:25
P3	ED	SPH
C_31_402		

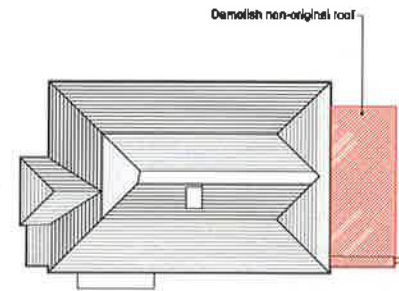




01 Demolition Basement Floor Plan
1:100



02 Demolition Ground Floor Plan
1:100



03 Demolition Roof Plan
1:100

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Key plan - not to scale



Key

- Proposed work
- Existing wall
- Demolish of non-original structure (to be confirmed)
- Proposed of new structure (to be confirmed)

Revisions

- Return proposed to hard of stage

Rev	Date	Description	By
P3	28.07.20	Planning application	SPH
P2	04.07.19	Planning application	SPH
P1	22.05.18	Planning application	SPH

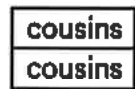
Banstead Place

Client: Stonegate Homes

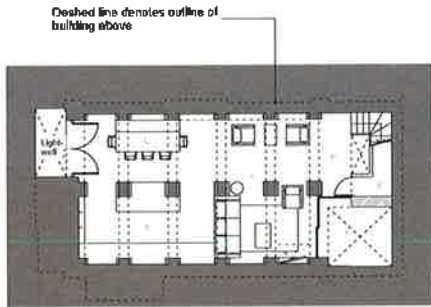
Project: Demolition: Stable Yard - The Lodge Plans

PLANNING

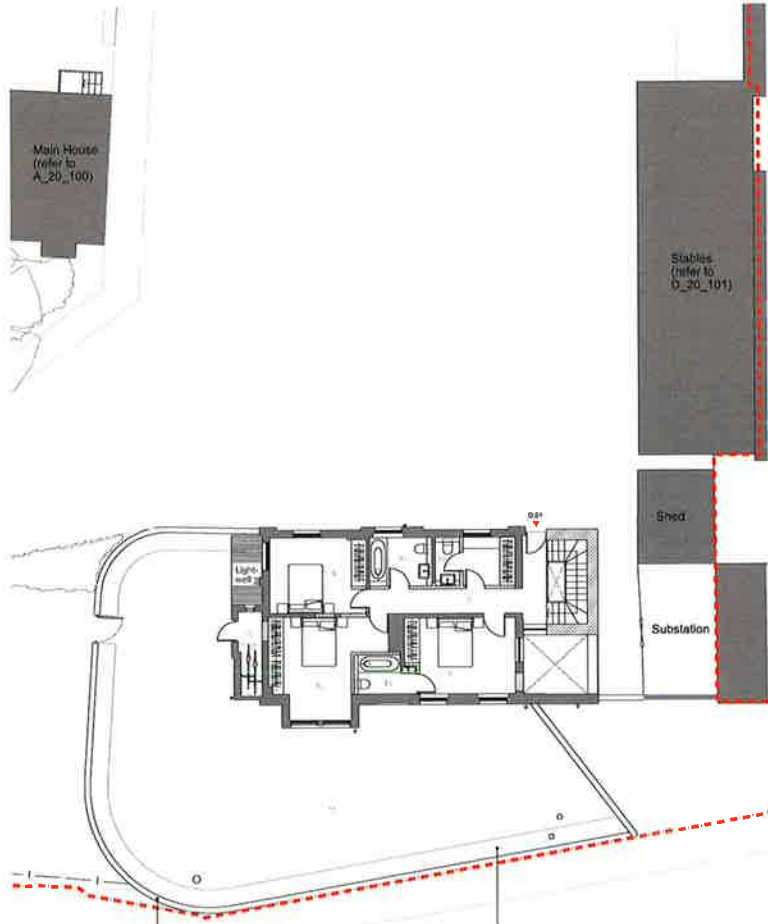
Draw Number	Date	Scale
18007	08/01/2020	1:100



Structural steel
Lifting and moving
2017-2018



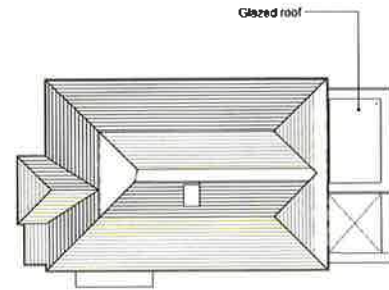
01 Proposed Basement Plan
1:100



02 Proposed Ground Floor Plan
1:100

Brick wall to match existing - 0.6m height

Existing trees retained. Refer to Landscape Architect information for landscape strategy including materials



03 Proposed Roof Plan
1:100

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Key

■	Proposed	○	Existing
□	Existing	○	Proposed
▲	Proposed	○	Existing
○	Existing	○	Proposed
○	Existing	○	Proposed
○	Existing	○	Proposed
○	Existing	○	Proposed
○	Existing	○	Proposed

Accommodation Schedule

Room	Area (sqm)	Volume (cu m)	Bedrooms	Bathrooms	Spa
The Lodge	155.5	155.5	1	1	1
Stables	157.7	157.7	1	1	1

Revisions

1	Revisions
---	-----------

P3	08.07.20	Planning amendment	3/4
P2	04.03.19	Planning Application	3/4
P1	22.02.19	Planning Application	3/4
A	01.02.19	Issue For Information	3/4
V	18.07.18	Issue For Information	3/4

Banstead Place

Stonegate Homes

Proposed: Stable Yard - The Lodge Plans

PLANNING

18007	06/01/2020	1	100
P3	ED	SPH	D_20_100



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Key

- site boundary
- existing
- demolition within curtilage of listed building
- demolition of non-original buildings

Revisions

1. Redesign of driveway and parking area - 12/11/19
2. Remove tree (see schedule)

Remove trees. Refer to Arboricultural report for full extent of trees to be removed including justification for removal.

Remove non-original timber fence

Retain base of original orangery

Remove existing terraced hardstanding

Demolish stable extension not shown to be part of the listed curtilage. Demolish part of the listed wall shown in blue that does form part of the listed curtilage.

Demolish front wall to create visibility splay for new vehicle access

Demolish modern buildings

Demolish single storey modern extensions

Demolish non-original glazed corridor

Remove non-original hardstanding

Demolish non-original polling shed and covered walkway

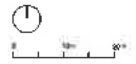
Remove tree. Refer to Arboricultural report for full extent of trees to be removed including justification for removal.

Remove non-original doors in wall

Demolish non-original buildings to Walled Garden including covered areas and hardstanding



01 Demolition: Site plan
1:500



P1	22/10/19	Planning agreement	SPH
P2	27/12/19	Planning application	SPH
Rev	1	1	1
Rev	2	2	2

Banstead Place

Client: Stonegate Homes

Type: Demolition: Site Plan

PLANNING

Reference	19/	Application No	
16067	23/10/2019	1:500	
Rev	1	1	1
P2	ED	SPH	12_001

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Key

----- Proposed

Revisions

- 1. Revisions to plan and sections 14th Nov 2018
- 2. Revisions to plan and sections 15th Nov 2018
- 3. Revisions to plan and sections 16th Nov 2018
- 4. Revisions to plan and sections 17th Nov 2018

No.	Date	Description	By
P2	23.10.18	Planning amendment	SPH
P1	22.02.18	Planning Application	SPH
F	20.01.18	Issued for Information	SPH
F	18.01.18	Issued for Information	SPH
B	31.10.18	Issued for Information	SPH
C	28.11.18	Issued for Information	SPH
B	18.11.18	Issued for Information	SPH
A	05.11.18	Issued for comment	SPH
P	16.07.18	Issued for comment	SPH
	Prep.	By Cousins Cousins	

Banstead Place

Stonegate Homes

Proposed: Site Plan

PLANNING

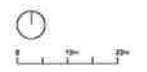
Project No.	19007	Date	23/10/2018	Scale	1:500
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Author	P2	Editor	ED	Designer	SPH	Project No.	20_001
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Architects
 100-102, The Quadrant, London, W1R 0AS
 Tel: 020 7493 8800
 Email: info@cousins-architects.co.uk

01 Proposed: Site plan
 1:500





01 Proposed: Site plan - parking
1:500



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- Key**
- Accessway
 - ▨ Parking
 - ▭ Building
 - Tree
 - Tree (to be retained)
 - Tree (to be removed)
 - Tree (to be planted)
 - Tree (to be replaced)

- Revisions**
1. Finalise site plan and parking
 2. Revise site plan and parking

REF	23.10.19	Planning amendment	SPH
PI	22.02.19	Planning application	SPH
Rev	Rev	Prepared For Issue	SPH

Banstead Place

Client: **Stonogate Homes**

Proposed: **Site Plan - Parking**

PLANNING

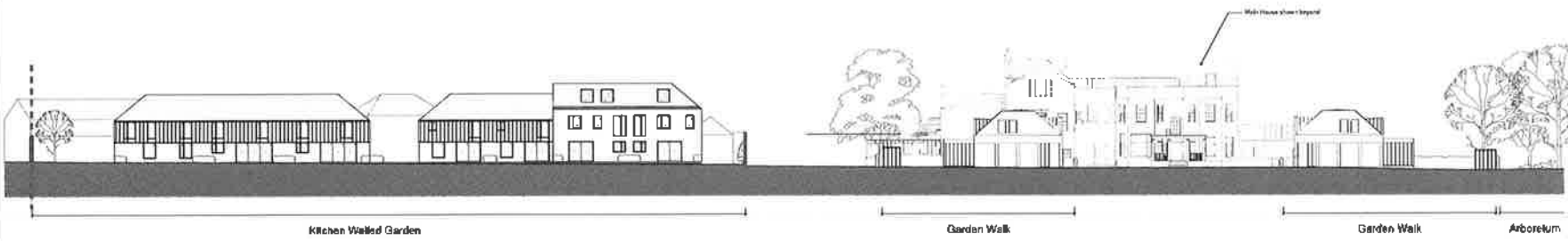
Project Number	Date	Drawing Scale
18047	23/10/2019	1:500
Rev	Rev	Rev
P2	ED	SPH
		20_002

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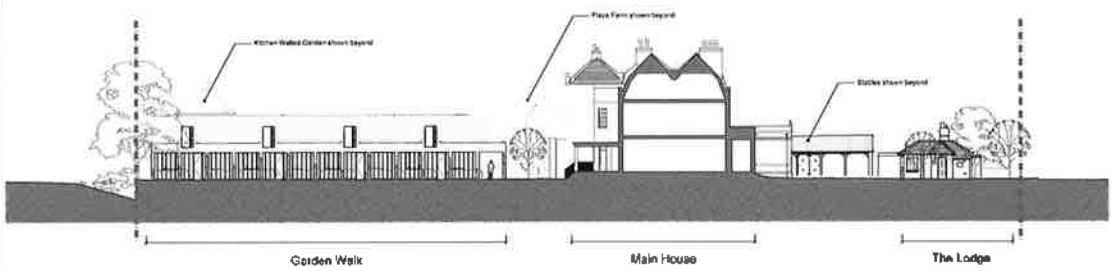
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 GU14 7JH

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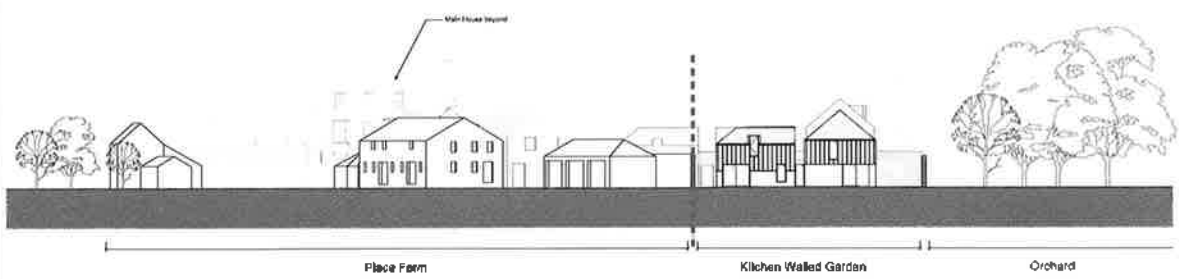
220



01 Proposed Site Section AA
1:250



02 Proposed Site Section BB
1:250



03 Proposed Site Section CC
1:250



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Key 1:250 1:100 Scale



Key

.....

Revisions

- 1. Revise to include the new kitchen and garden area.
- 2. Revise to include the new main house and garden area.
- 3. Revise to include the new main house and garden area.
- 4. Revise to include the new main house and garden area.
- 5. Revise to include the new main house and garden area.

v1	21.12.19	Planning amendment	2%
v2	04.03.19	Planning amendment	3%
v4	22.02.19	Planning application	3%
v5	14.03.19	Planning application	3%

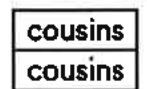
Banstead Place

Stonegate Homes

Proposed:
Site Sections

PLANNING

Application No.	Date	Decision
18007	23/10/2019	1:250
Application No.	Date	Decision
P3	ED	SPH 20_200



Refer to drawing 12_001 for full extent of single storey additions

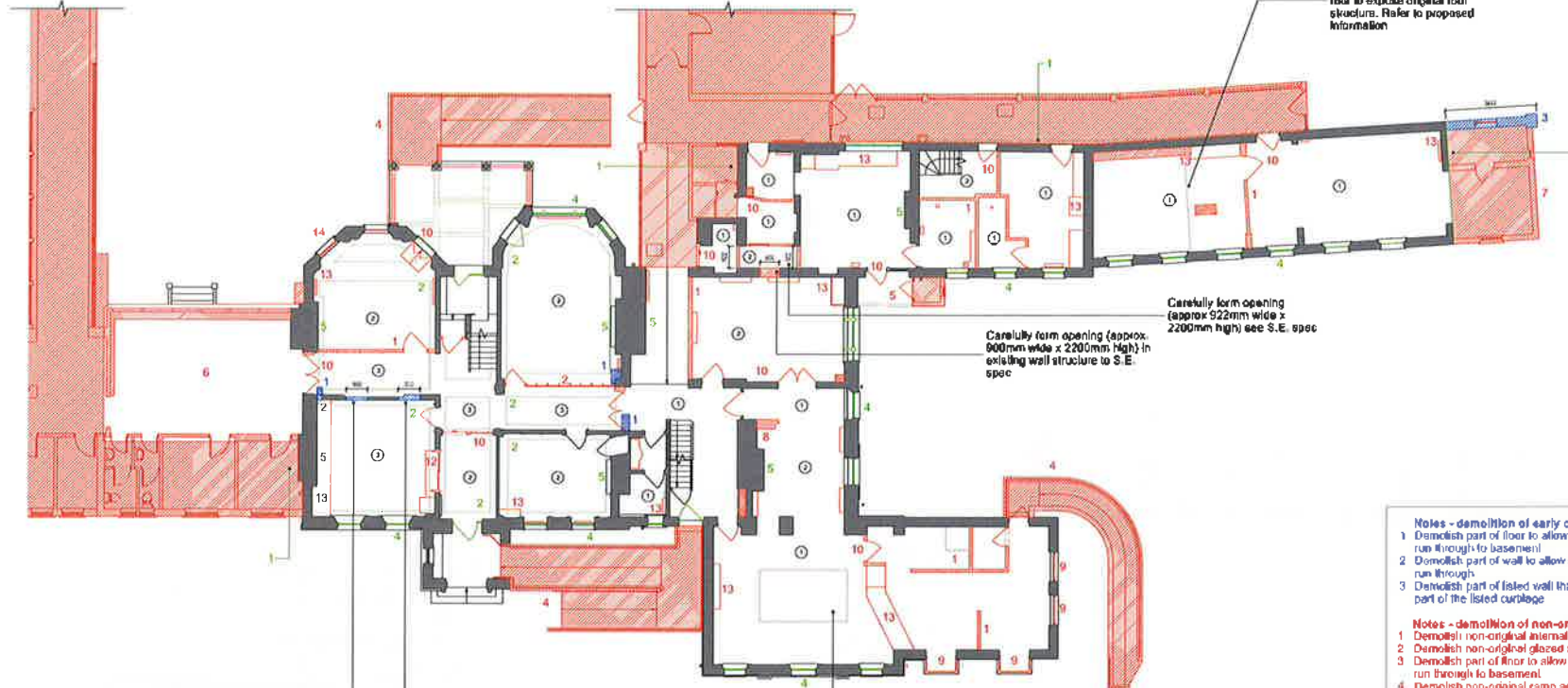
Refer to drawing 12_001 for full extent of single storey additions

Remove extent of non-original ceiling to underside of hipped roof to expose original roof structure. Refer to proposed information

Carefully form opening (approx. 900mm wide x 2200mm high) in existing wall structure to S.E. spec

Carefully form openings (approx. 900mm wide x 2040mm high) in existing wall structure to S.E. spec

Remove extent of non-original ceiling to underside of billiard room rooflight



01 Demolitions Ground Floor Plan 1:100



- Notes - demolition of early original fabric**
- 1 Demolish part of floor to allow services to run through to basement
 - 2 Demolish part of wall to allow services to run through
 - 3 Demolish part of listed wall that does form part of the listed curtilage

- Notes - demolition of non-original fabric**
- 1 Demolish non-original internal partitions
 - 2 Demolish non-original glazed screen
 - 3 Demolish part of floor to allow services to run through to basement
 - 4 Demolish non-original ramp and balustrade
 - 5 Demolish non-original porch
 - 6 Demolish non-original parts of conservatory retaining base of original conservatory
 - 7 Demolish stable extension not shown to be part of the listed curtilage.
 - 8 Demolish existing wall structure to full height
 - 9 Remove aluminium windows to replace with timber frame windows to match existing
 - 10 Remove non-original doors (to be determined on site)
 - 11 Remove non-original architraves (to be determined on site)
 - 12 Remove non-original hatch
 - 13 Remove non-original fittings, services, radiators and boxing out
 - 14 Remove non-original windows

- Notes - restoration / repair**
- 1 Repair brickwork of original wall following demolition of single storey extensions and glazed walkway
 - 2 Repair original cornicing
 - 3 Repair original architraves
 - 4 Repair existing frames and where glazing is non-original replace with higher performance glass
 - 5 Retain and restore existing fireplaces

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May also refer to scale



Key

- Demolition
- Restoration / repair
- Existing structure
- Proposed structure
- Services

Revisions

Rev.	Description	Date
1	Issue for planning	
2	Additional opening for services through ground floor	
3	Remove non-original porch, ramp and balustrade to match existing	
4	Remove part of floor to allow services to run through to basement	
5	Demolish non-original parts of conservatory	
6	Demolish part of listed wall that does form part of the listed curtilage	
7	Demolish part of floor to allow services to run through to basement	
8	Demolish existing wall structure to full height	
9	Remove aluminium windows to replace with timber frame windows to match existing	
10	Remove non-original doors (to be determined on site)	
11	Remove non-original architraves (to be determined on site)	
12	Remove non-original hatch	
13	Remove non-original fittings, services, radiators and boxing out	
14	Remove non-original windows	

Rev.	Date	Description	By
P1	22.10.19	Planning amendment	SPH
P2	04.03.19	Planning amendment	SPH
P3	22.02.19	Planning amendment	SPH
Rev.	01.01.19	Revised for approval	SPH

Banstead Place

Stonegate Homes

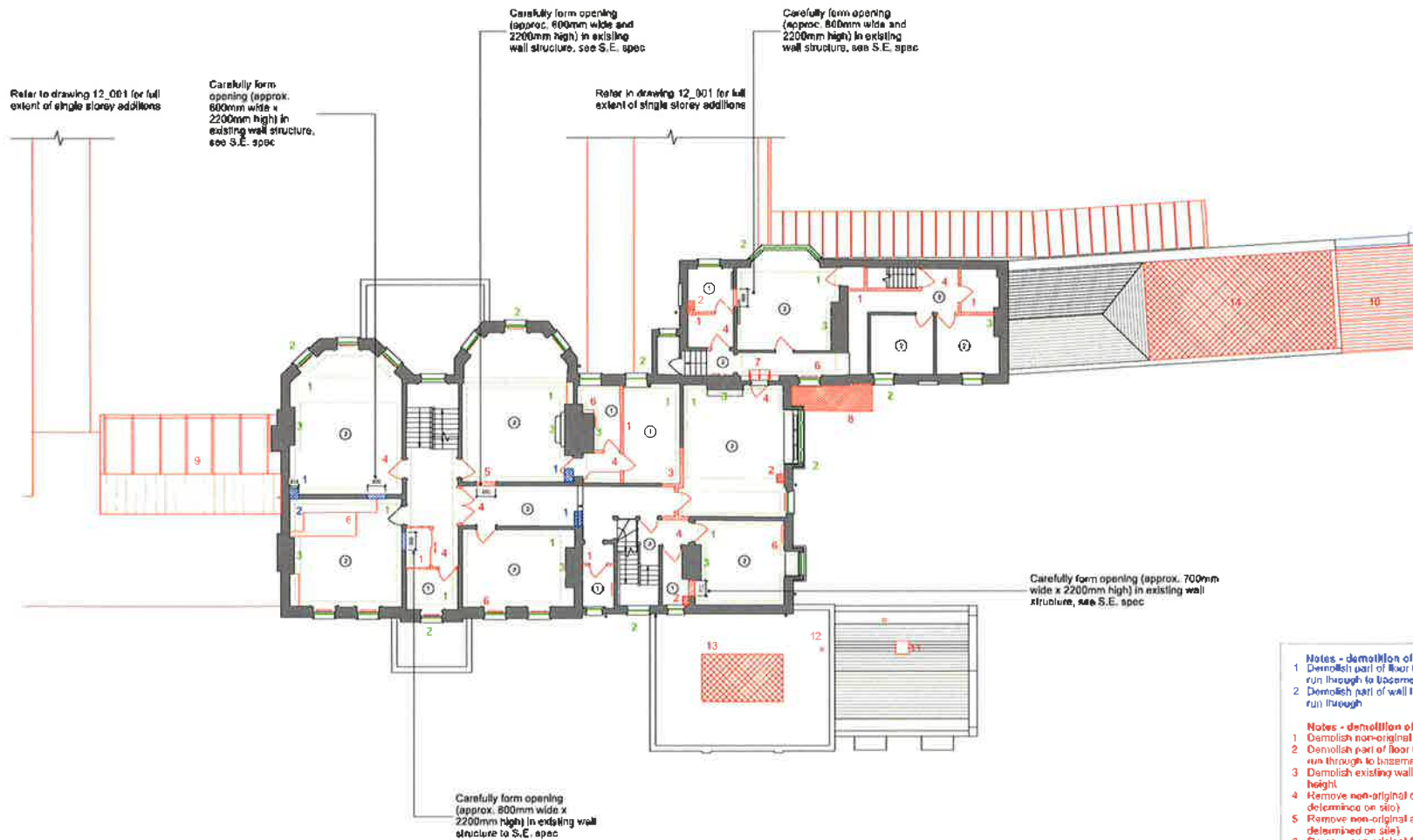
Demolition: Main House - Ground Floor Plan

PLANNING

Plan No.	Date	Scale
19007	23/10/2019	1:100



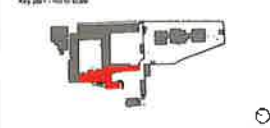
01223 800000
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01 Demolition First Floor Plan
1:100



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- Key
- 1. Existing wall structure
 - 2. Existing wall structure to be demolished
 - 3. Existing wall structure to be retained
 - 4. Existing wall structure to be repaired
 - 5. Existing wall structure to be replaced
 - 6. Existing wall structure to be replaced
 - 7. Existing wall structure to be replaced
 - 8. Existing wall structure to be replaced
 - 9. Existing wall structure to be replaced
 - 10. Existing wall structure to be replaced
 - 11. Existing wall structure to be replaced
 - 12. Existing wall structure to be replaced
 - 13. Existing wall structure to be replaced
 - 14. Existing wall structure to be replaced

- Revisions
1. Amend level of high door
 2. Add new wall structure to existing wall structure
 3. Change to level of existing wall structure to be replaced
 4. Change to level of existing wall structure to be replaced
 5. Change to level of existing wall structure to be replaced
 6. Change to level of existing wall structure to be replaced
 7. Change to level of existing wall structure to be replaced
 8. Change to level of existing wall structure to be replaced
 9. Change to level of existing wall structure to be replaced
 10. Change to level of existing wall structure to be replaced
 11. Change to level of existing wall structure to be replaced
 12. Change to level of existing wall structure to be replaced
 13. Change to level of existing wall structure to be replaced
 14. Change to level of existing wall structure to be replaced

- Notes - demolition of early original fabric
- 1 Demolish part of floor to allow services to run through to basement.
 - 2 Demolish part of wall to allow services to run through.

- Notes - demolition of non-original fabric
- 1 Demolish non-original internal partitions
 - 2 Demolish part of floor to allow services to run through to basement
 - 3 Demolish existing wall structure to full height
 - 4 Remove non-original doors (to be determined on site)
 - 5 Remove non-original architraves (to be determined on site)
 - 6 Remove non-original fillings, services and radiators
 - 7 Remove steps
 - 8 Demolish non-original patch
 - 9 Demolish non-original parts of conservatory retaining base of original conservatory
 - 10 Demolish stable extension not shown to be part of the listed outillage.
 - 11 Remove rooflight
 - 12 Openings in roof for services to pass through
 - 13 Partially remove non-original roof to restore original rooflight opening
 - 14 Remove non-original asphalt roof covering. Retain roof structure underneath

- Notes - restoration / repair
- 1 Repair original masonry
 - 2 Repair existing frames and where glazing is non-original replace with higher performance glass
 - 3 Retain and restore existing fireplaces

PL	23.10.19	Planning permission	24%
PL	24.03.19	Planning permission	24%
PL	22.03.19	Planning permission	24%

Banstead Place

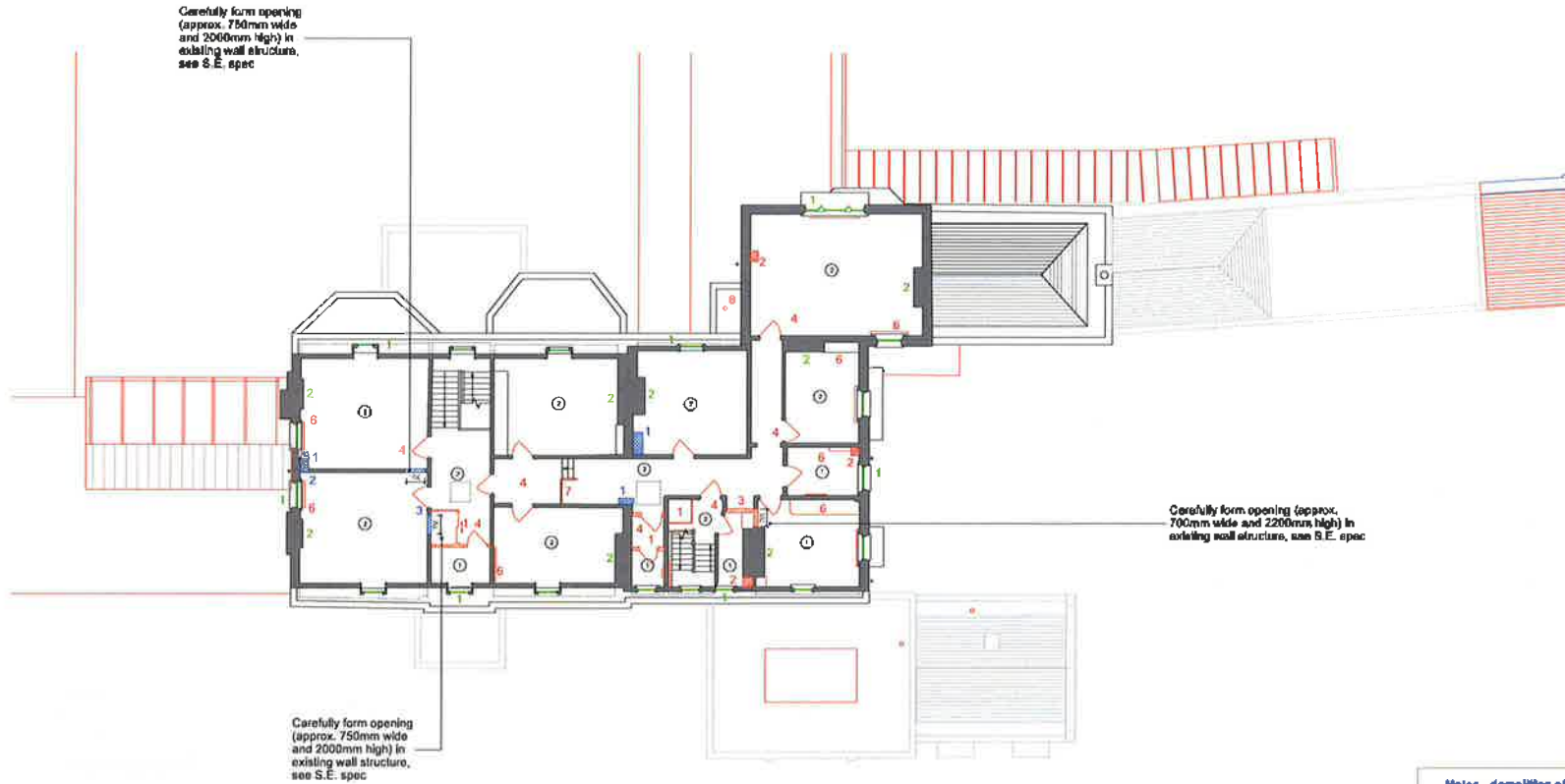
Stonegate Homes

Demolition: Main House - First Floor Plan

PLANNING

16007	23/10/2019	1:100
P3	ED	SPH
		A_12_101





Carefully form opening (approx. 750mm wide and 2000mm high) in existing wall structure, see S.E. spec

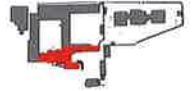
Carefully form opening (approx. 700mm wide and 2200mm high) in existing wall structure, see S.E. spec

Carefully form opening (approx. 750mm wide and 2000mm high) in existing wall structure, see S.E. spec

01 Demolition Second Floor Plan
1:100



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- Key**
- █ 2404
 - █ Demolition of non-original fabric (to be removed)
 - █ Demolition of original fabric (to be retained)
 - █ Demolition of original fabric (to be removed)
 - █ Demolition of original fabric (to be removed)
 - 1
 - 2
 - 3
 - 4

- Revisions**
1. Amend original sub floor plan
 2. Amend glazing and only replace non-original glazing with higher performance glass
 3. Change location of windows through single dormer roof to A, G & H
 4. Retain and restore existing fireplaces
 5. Amend roof to original

- Notes - demolition of early original fabric**
- 1 Demolish part of floor to allow services to run through to basement
 - 2 Demolish part of wall to allow services to run through
 - 3 Demolish wall to full height - see S.E. spec
- Notes - demolition of non-original fabric**
- 1 Demolish non-original internal partitions
 - 2 Demolish part of floor to allow services to run through to basement
 - 3 Demolish existing wall structure to full height
 - 4 Remove non-original doors (to be determined on site)
 - 5 Remove non-original architraves (to be determined on site)
 - 6 Remove non-original fittings, services and radiators
 - 7 Remove handrail
 - 8 Openings in roof for services to pass through
- Notes - restoration / repair**
- 1 Repair existing frames and where glazing is non-original replace with higher performance glass
 - 2 Retain and restore existing fireplaces

Rev	Date	By	Checked
P1	28.10.19	Planning Approval	SPH
P2	04.11.19	Planning Approval	SPH
P3	22.02.19	Planning Application	SPH
Rev	Exc	Task / P. / Job	Ch

Banstead Place

Client: Stonegate Homes

Demolition: Main House - Second Floor Plan

PLANNING

Project Number	Date	Scale
16007	23/10/2019	1:100

Project	Disc No	Approval	Approval Reference
P3	ED	SPH	A_12_102

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- Key**
- Existing structure
 - Structure to be demolished
 - Structure to be retained
 - Structure to be replaced
 - Structure to be replaced with new
 - Structure to be replaced with new (to be confirmed)
 - Structure to be replaced with new (to be confirmed)
 - Structure to be replaced with new (to be confirmed)

- Revisions**
1. Add new opening of roof to be replaced with new
 2. Change to location of roof to be replaced with new
 3. Add new opening of roof

P3	23/10/19	Planning consent	SPH
P2	04/03/19	Planning consent	SPH
P1	23/10/19	Planning application	SPH

Banstead Place

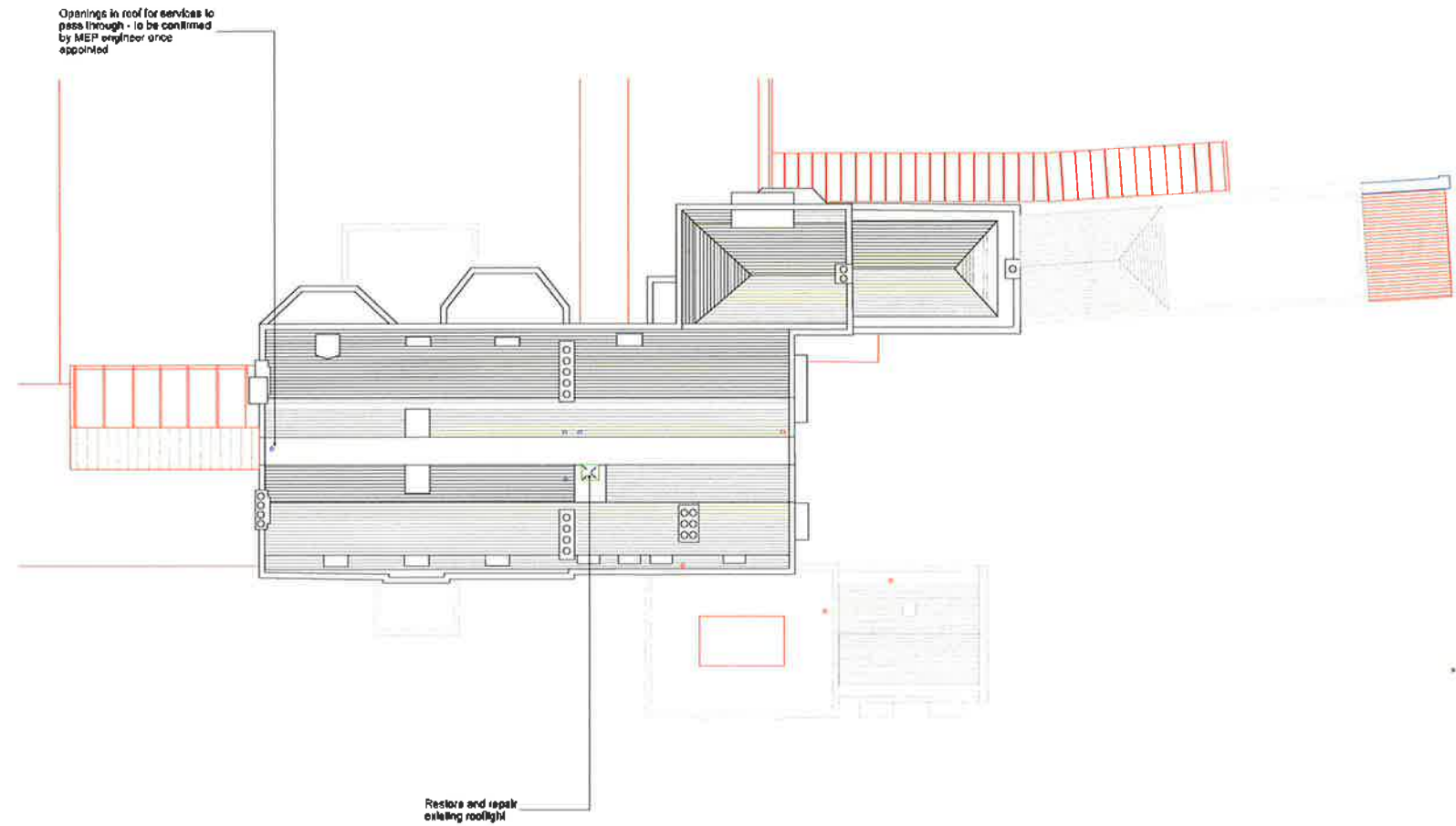
Client: Stonegate Homes

Demolition: Main House - Roof Plan

Phase: PLANNING

Project No.	Date	Scale
18007	23/10/2019	1:100

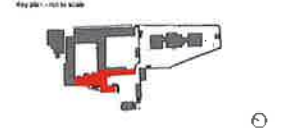
Client	Architect	Structural Engineer	Planning Consultant
P3	ED	SPH	A_12_103



01 Demolition Roof Plan
1:100



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01 Demolition South West Elevation
 1:100

Key

- 1 Work
- 2 Repairs to existing fabric (see Schedule of Works)
- 3 Demolition (see Schedule of Works)
- 4 New work
- 5 Repairs to existing fabric (see Schedule of Works)

Revisions

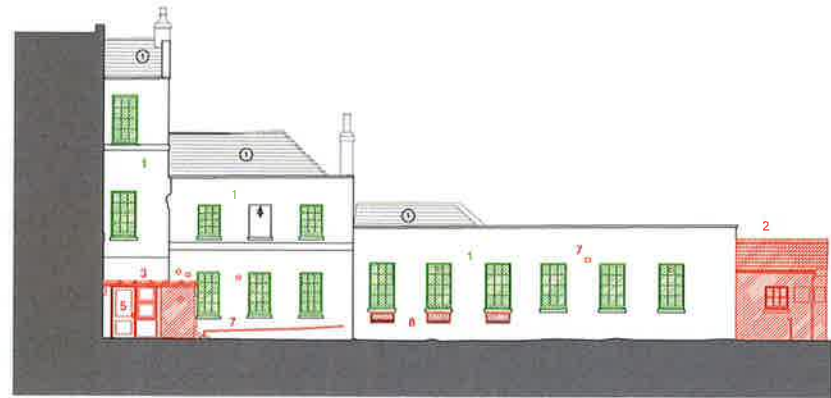
- Remove non-original lower glazing to match existing upper glazing.
- Repair existing and only fabric non-original glazing in upper glazing.
- Remove glazing.

Notes - demolition of non-original fabric

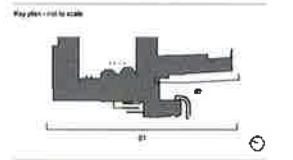
- Demolish all single-storey later additions to the Main House
- Demolish stable extension
- Demolish non-original porch structure
- Demolish access ramp
- Remove non-original door
- Remove aluminium windows to replace with timber frame windows to match existing
- Remove aluminium windows to replace with timber frame windows to match existing. Remove existing services
- Remove non-original lower glazing - opening to be infilled

Notes - restoration / repair

- Repair existing frames and where glazing is non-original replace with higher performance glass



02 Demolition South West Elevation
 1:100



Rev	Date	Description	By
P1	23.10.19	Planning application	SPH
P2	04.11.19	Planning application	SPH
P3	23.02.19	Planning Application	SPH

Banstead Place

Client: Stonegate Homes

Project: Demolition: Main House South West Elevations

PLANNING

Planning Ref	Date	Scale
18007	23/10/2019	1:100

Rev	Date	Description	By
P3	ED	SPH	A_12_300

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Existing doorway infilled to form window - Georgian proportion and design

Non-original door replaced with door matching Georgian design

Existing doorway infilled form window - Georgian proportion and design

New doorway to A.GF.03

Original steps to loggia reinstated

Existing conservatory and modern extension to be replaced by new conservatory reflecting original Victorian design

Existing steps and historic access to conservatory restored

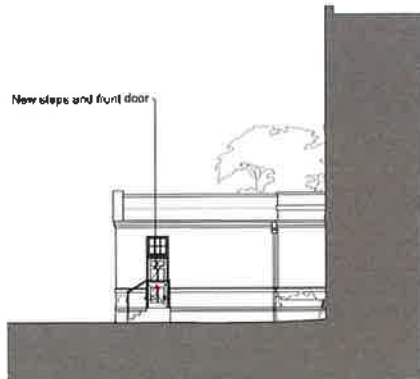


01 Proposed North East Elevation
1:100

Single-storey lean-to rear extension with blackened timber clad walls with deep fins over red brick wall with brick, bond and mortar to match the existing

Frameless fixed glazing

Timber frame double glazed casement operable window



02 Proposed North East Elevation
1:100



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Key
 Existing

- Revisions
1. Revise details of A.GF.03 (partially obscured by original conservatory) to match existing design.
 2. Revise steps to match existing design.
 3. Revise details of new conservatory to match existing design.
 4. Revise details of new conservatory to match existing design.
 5. Revise details of new conservatory to match existing design.

Rev	Date	Description	By
P1	23.10.18	Planning submission	SPH
P2	04.03.19	Planning submission	SPH
P3	22.02.18	Planning Application	SPH

Banstead Place

Stonegate Homes

Proposed:
Main House - North East Elevations

PLANNING

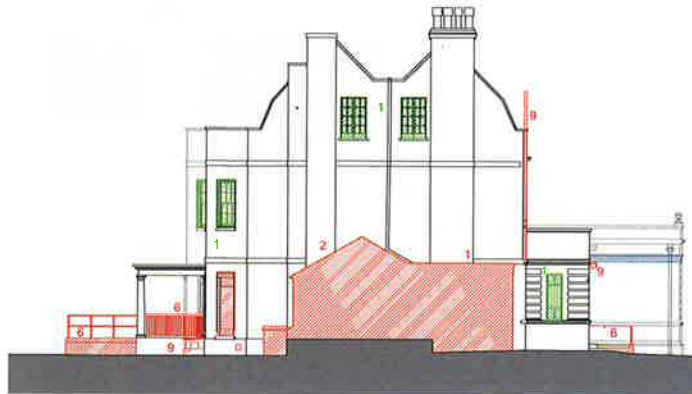
Application No.	Date	Scale
18007	23/10/2018	1:100

Rev	Date	Description	By
P3	ED	SPH	A_20_301





01 Demolition South East Elevation
1:100



02 Demolition North West Elevation
1:100



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Key plan - not to scale



Key

- Existing
- Demolish (red hatched)
- Replace (blue hatched)
- Retain (green hatched)
- Part to be retained

Revisions

1. Revise to use of a different window type
2. Revise to use of a different window type and use of higher performance glass
3. Revise to use of a different window type

Notes - demolition of early original fabric
Demolish part of listed wall that does form part of the listed curtilage

Notes - demolition of non-original fabric
Demolish all single-storey later additions to the Main House

- 1 Demolish non-original parts of existing conservatory retaining base of original conservatory
- 2 Demolish non-original glazed walkway
- 3 Demolish stable extension not part of listed curtilage
- 4 Demolish non-original porch structure
- 5 Demolish access ramp and balustrades
- 6 Demolish low wall and railing
- 7 Remove aluminium windows to be replaced with timber frame windows to match existing
- 8 Remove existing services

Notes - restoration / repair
1 Repair existing frames and where glazing is non-original replace with higher performance glass

Key plan - not to scale



PO	ED 01/9	Planning permission	SPH
PO	04/01/9	Planning permission	SPH
PO	22/02/9	Planning Application	SPH
PO	03/03/9	Final Planning	SPH

Banstead Place

Strengate Homes

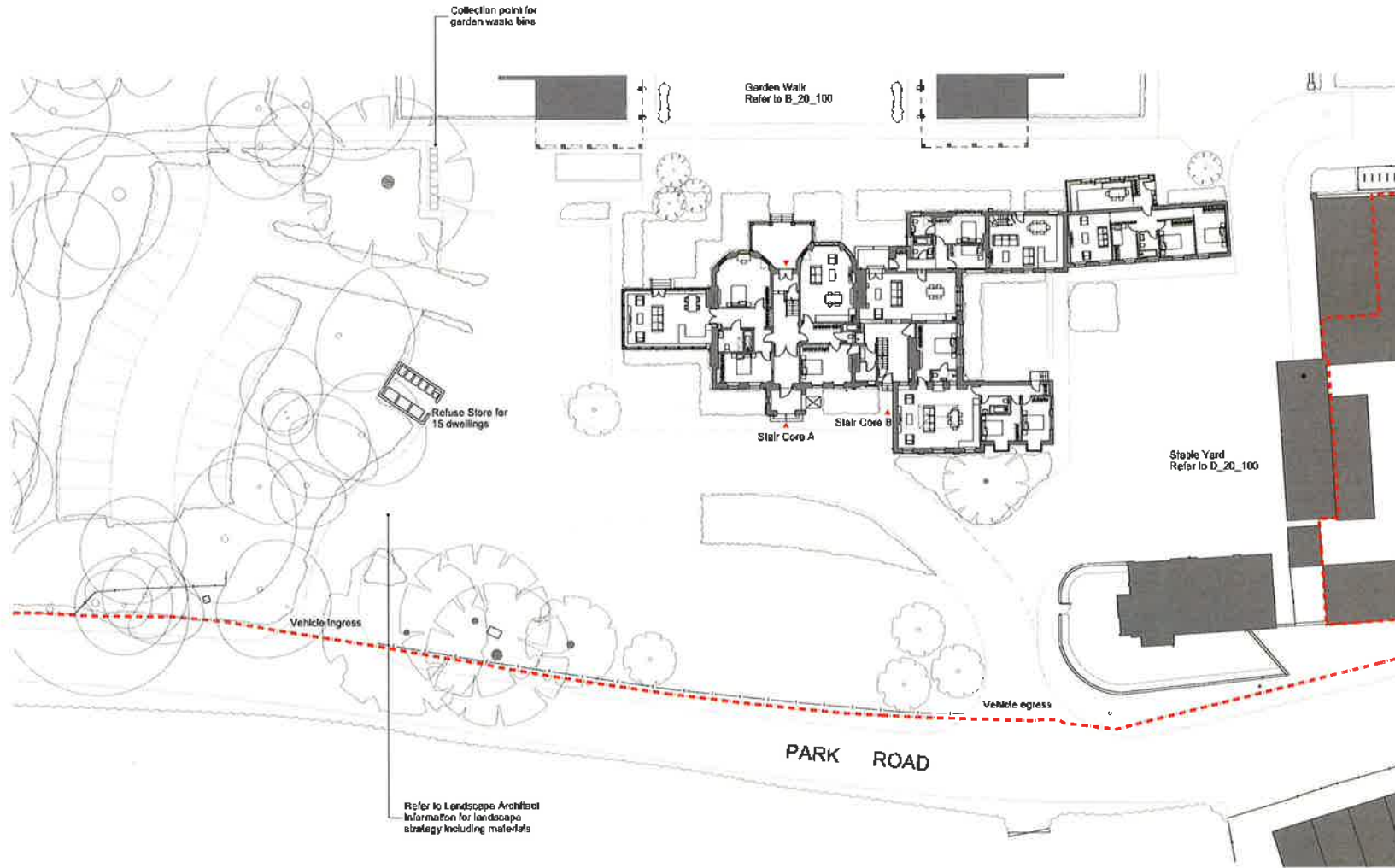
Demolition:
Main House - SE & NW Elevations

PLANNING

Plot Number	Date	Scale/Date
18007	22/10/2019	1:100
Number	Version	Approval No.
P3	ED	SPH
		A_12_302

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01 Proposed: Main House Site plan
1:200



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Always read carefully with relevant titles. Do not use a drawing for any purpose other than that intended by the architect. The architect is not responsible for any errors or omissions in the drawings or for any damage to the site.



- Key**
- Proposed
 - Existing
 - Boundary
 - Access

- Revisions**
1. Revise to show budget
 2. Revise to show materials
 3. Revise to show site and landscape strategy
 4. Revise to show site and landscape strategy

No.	Date	Description	By
P1	23/09/19	Planning application	SP
P2	06/11/19	Planning application	SP
P3	22/02/18	Planning Application	SP
R	01/12/16	Revised for Information	SP
A	08/11/15	Revised for Information	SP
I	27/12/14	Revised for Information	SP

Banstead Place

Stonegate Homes

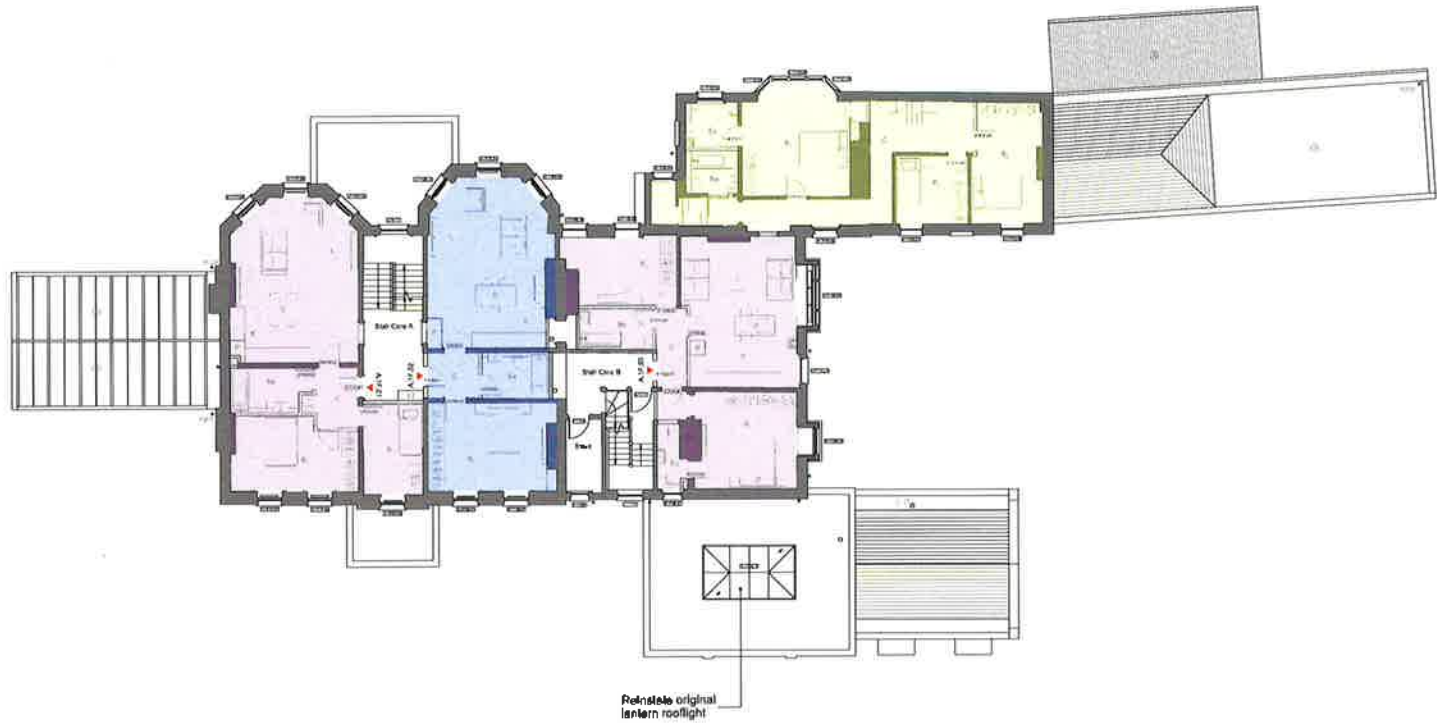
Proposed:
Main House - Site Plan

PLANNING

10067 23/10/2019 1:200

P3 ED SPII A_20_001





01 Proposed First Floor Plan
1:100



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 No part of this drawing shall be used to calculate or construct any part of the proposed development. All dimensions are rounded off to the nearest millimetre and shall be taken as the responsibility of the contractor.
 All work must comply with the Building Regulations and Building Bye-laws to requirements. Drawing and/or designs to be referred to in a contract.

Key

■ Existing Wall	--- Proposed
□ Proposed Wall	--- Proposed
▲ Existing Window	--- Proposed
○ Existing Door	○ Proposed
○ Existing Stair	○ Proposed
○ Existing Lift	○ Proposed
○ Existing Staircase	○ Proposed
○ Existing Lift	○ Proposed
○ Existing Staircase	○ Proposed
○ Existing Lift	○ Proposed
○ Existing Staircase	○ Proposed
○ Existing Lift	○ Proposed
○ Existing Staircase	○ Proposed

Accommodation Schedule

Room	Area	Volume	Height	Notes
Living Room	15.5	2.5	39.0	
Dining Room	10.5	2.5	26.3	
Kitchen	7.5	2.5	18.8	
Bedroom	12.5	2.5	31.3	
Bedroom	10.5	2.5	26.3	
Bedroom	10.5	2.5	26.3	
Garage	15.5	2.5	39.0	
Manufactured Shed	10.5	2.5	26.3	
Demolish	10.5	2.5	26.3	
Other	10.5	2.5	26.3	

- Revisions**
1. Add to living area to be more spacious addition to kitchen
 2. Add to bedroom to be more spacious addition to bedroom
 3. Add to bedroom to be more spacious addition to bedroom
 4. Change to be more spacious addition to bedroom
 5. Change to be more spacious addition to bedroom

No.	Date	Description	By
P1	23.10.18	Planning amendment	SPH
P2	08.01.19	Planning amendment	SPH
P3	22.02.19	Planning Application	SPH
A	01.02.18	Issue for Information	SPH
V	27.12.18	Issue for Information	SPH

Banstead Place

Stonegate Homes

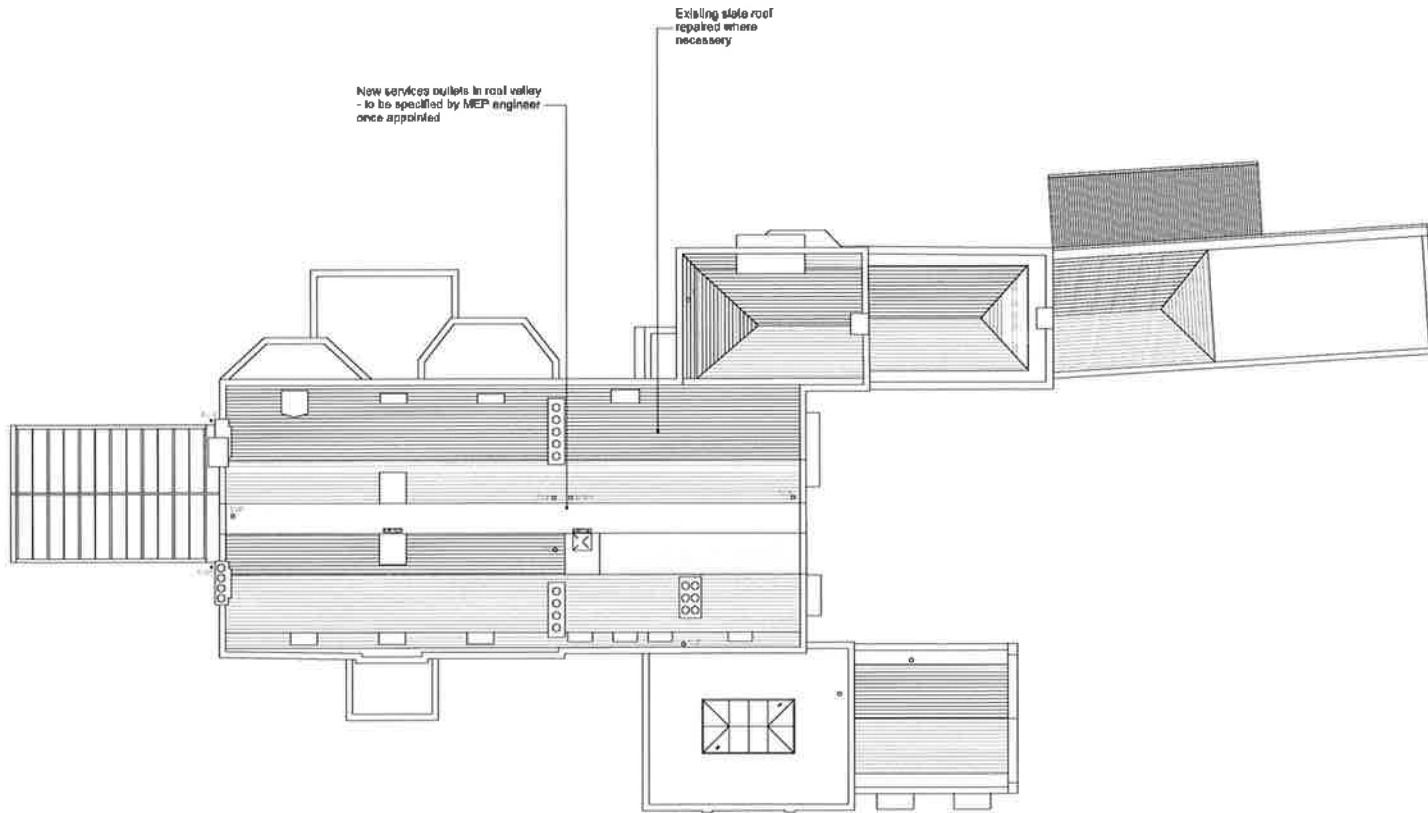
Proposed:
Main House - First Floor Plan

PLANNING

Application No.	Date	Decision
10007	23/10/2019	1:100

Author: ED, SPH, A_20_101





Consolidation & Quality Assurance:
 The proposed roof plan is a consolidation of the existing roof plan and the proposed roof plan. It is intended to be used for the purpose of planning and construction. All proposed roof plan elements are shown in grey and existing roof plan elements are shown in black. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be corrected in P4 or final.

Key

--- Existing roof plan
 --- Proposed roof plan

Revisions

1. Amend to new layout to include new gable structure to be built.
2. Add to existing roof plan over house & shed area.
3. Change to include of roof structure to be built to be built.
4. Add to existing roof plan.

01 Proposed Roof Plan
 1/100



18	25.10.18	Planning amendment	SPH
17	04.03.18	Planning amendment	SPH
16	22.02.18	Planning amendment	SPH
A	21.02.18	Issue for Information	SPH
F	21.02.18	Issue for Information	SPH
15	2018	Structural Review	ED

Banstead Place

Client:
Stonergala Homes

Proposed:
Main House - Roof Plan

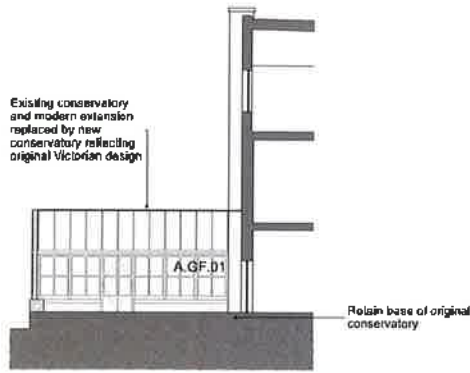
PLANNING

19007	23/10/2018	1:100
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P3	ED	SPH	A_20_103
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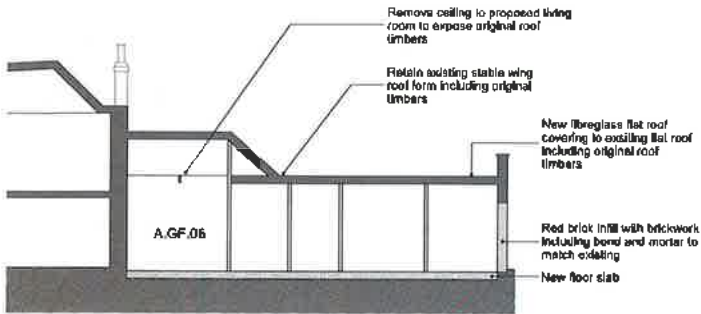
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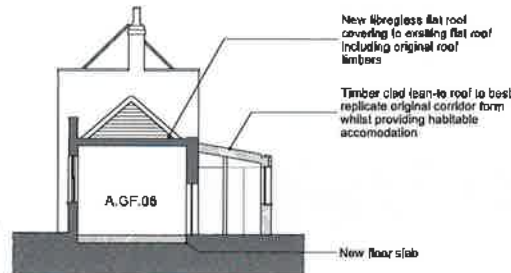
01 Proposed Section AA
1:100



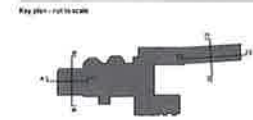
02 Proposed Section BB
1:100



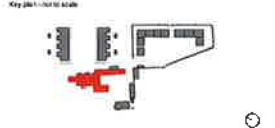
03 Proposed Section CC
1:100



04 Proposed Section DD
1:100



Key Plan Colour & Outline Attributes:
 The proposed new work is shown in grey. Existing work to be retained is shown in black. The proposed new work is shown in red. The proposed new work is shown in red. The proposed new work is shown in red.



Key
 Existing
 Proposed

- Revisions**
1. A.GF.D1 New conservatory reflecting original Victorian design
 2. Retain base of original conservatory
 3. Replace non-original windows with sash windows to match existing with raised sill
 4. Retain existing stable wing roof form including original timbers
 5. New fibreglass flat roof covering to existing flat roof including original roof timbers
 6. Red brick infill with brickwork including bond and mortar to match existing
 7. New floor slab

Rev	Date	Description	By
P1	21/03/18	Planning amendment	SPH
P2	04/05/18	Planning amendment	SPH
P3	02/02/19	Planning Application	SPH
Rev	Date	Revision Description	By

Banstead Place

Client: **Stonegate Homes**

Proposed: **Main House - Sections**

PLANNING

Submission	Date	Scale
18/03/17	23/10/2018	1:100

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 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

Existing conservatory and modern extension replaced by new conservatory reflecting original Victorian design

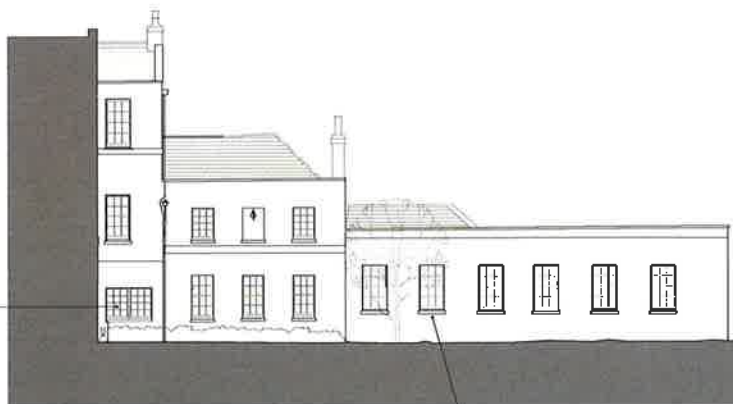


01 Proposed South West Elevation
1:100

Reinstate original lantern rooflight

New timber frame windows with double glazing to match neighbouring windows

Existing doorway opening reduced to form window with timber framed window to match existing



02 Proposed South West Elevation
1:100

Infill section of brickwork with brick, bond and mortar to match existing

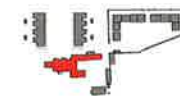


Client: Cousins & Cousins Architects

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All work must comply with relevant Building Regulations and all work must be checked by the relevant authority. All work must be checked by the relevant authority.

Key plan - not to scale



Key

█ Solid

Revisions

1. Add the new conservatory to the existing conservatory to match the original design.
2. Reinstate a lantern rooflight over the front entrance.
3. Remove the modern extension and replace with a new conservatory to match the original design.
4. Replace the existing windows with new timber framed windows with double glazing to match the original design.

Rev	Date	Description	By
R2	23.10.18	Planning amendments	SPH
R1	08.03.18	Planning amendments	SPH
R1	22.02.18	Planning application	SPH

Banstead Place

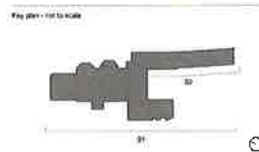
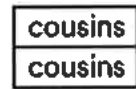
Stonegate Homes

Proposed:
Main House - South West Elevations

PLANNING

Application No.	Date	Scale
18067	23/10/2018	1:100

Rev	Date	Author	Checked
P3	ED	SPH	A_20_300





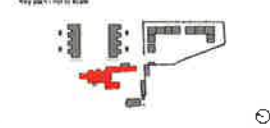
01 Proposed South East Elevation
1/100



02 Proposed North West Elevation
1/100



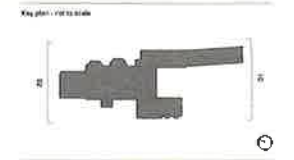
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Key
■ 1:100

- Revisions
- 1. Refine the profile of the conservatory to match the existing design.
 - 2. Refine the profile of the conservatory to match the existing design.
 - 3. Refine the profile of the conservatory to match the existing design.
 - 4. Refine the profile of the conservatory to match the existing design.
 - 5. Refine the profile of the conservatory to match the existing design.

- Notes
- 1 Red brick to match existing stable wing red brick including brick, bond and mortar
 - 2 Deep 1m charred larch frame with charred larch vertically clad infills
 - 3 Frameless fixed glazing
 - 4 Timber frame double glazed casement window
 - 5 Charred larch front door with single glazed panels



P3	23/10/19	Planning amendment	SPH
P2	24/01/19	Planning amendment	SPH
P1	22/02/19	Planning Application	SPH

Banstead Place

Client: Stonegate Homes

Proposed: Main House - SE & NW Elevations

PLANNING

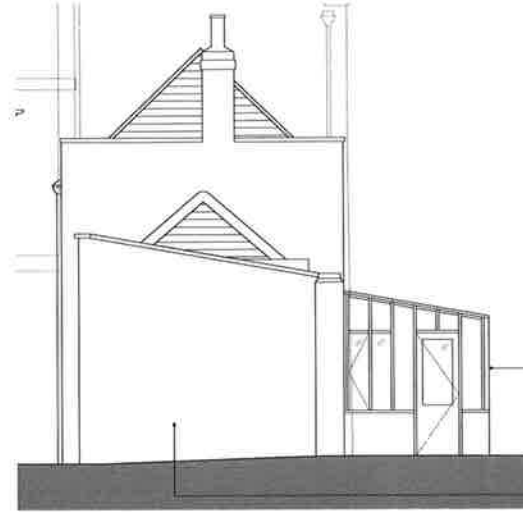
Application No:	16007	Date:	23/10/2019	Scale:	1:100
Project:	ED	Author:	SPH	Client Ref:	A_20_302





NE Elevation

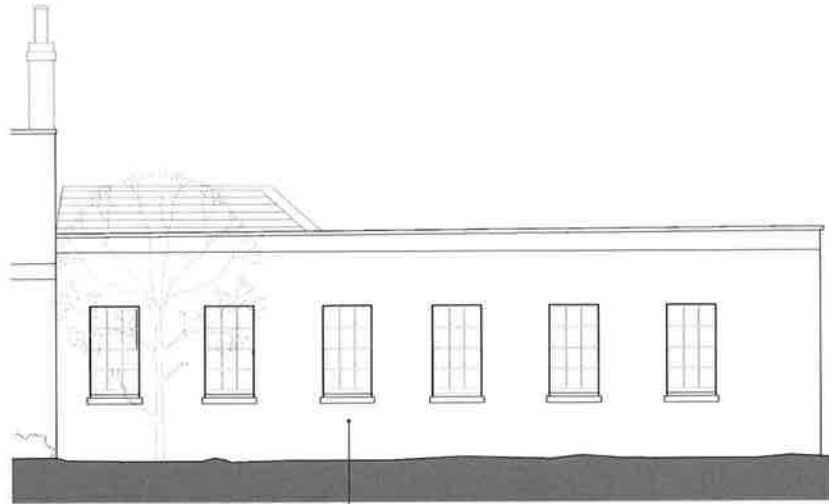
Red brick plinth to reference existing glazed corridor. Red brick including brick, bond and mortar to match existing



SE Elevation

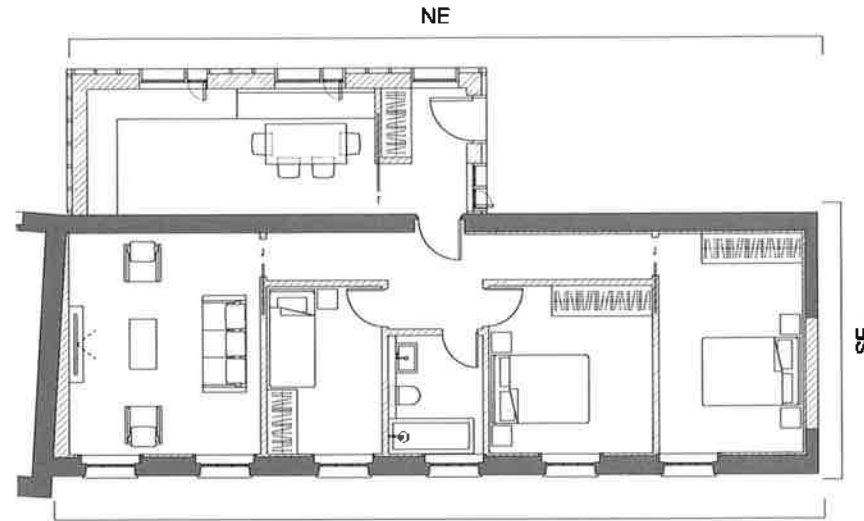
Single-storey lean-to rear extension to reference existing glazed corridor whilst being suitable for residential accommodation

Red brick infill with brickwork including bond and mortar to match existing



SW Elevation

Red brick infill section to unify stable wing elevation. Red brick including brick, bond and mortar to match existing



Ground Floor Plan

Key plan - not to scale



Key



Revisions

1. Update to reflect a G.F. extension from brick the side of the house, and the corridor area.
2. Extension will be used to create a new area of parking and use of ground that is suitable for residential accommodation.
3. Revised elevation of front of house to provide residential accommodation suitable for residential use.

P2	23.10.18	Planning amendment	SPH
P1	22.03.18	Planning Application	SPH

Banstead Place

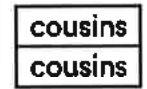
Stonegate Homes

Proposed:
Main House - A.GF.06 Elevations

PLANNING

Project No.	Date	Scale
18007	23/10/2018	1:50

Client	Drawn by	Checked by	Scale
P2	ED	SPH	A_31_401

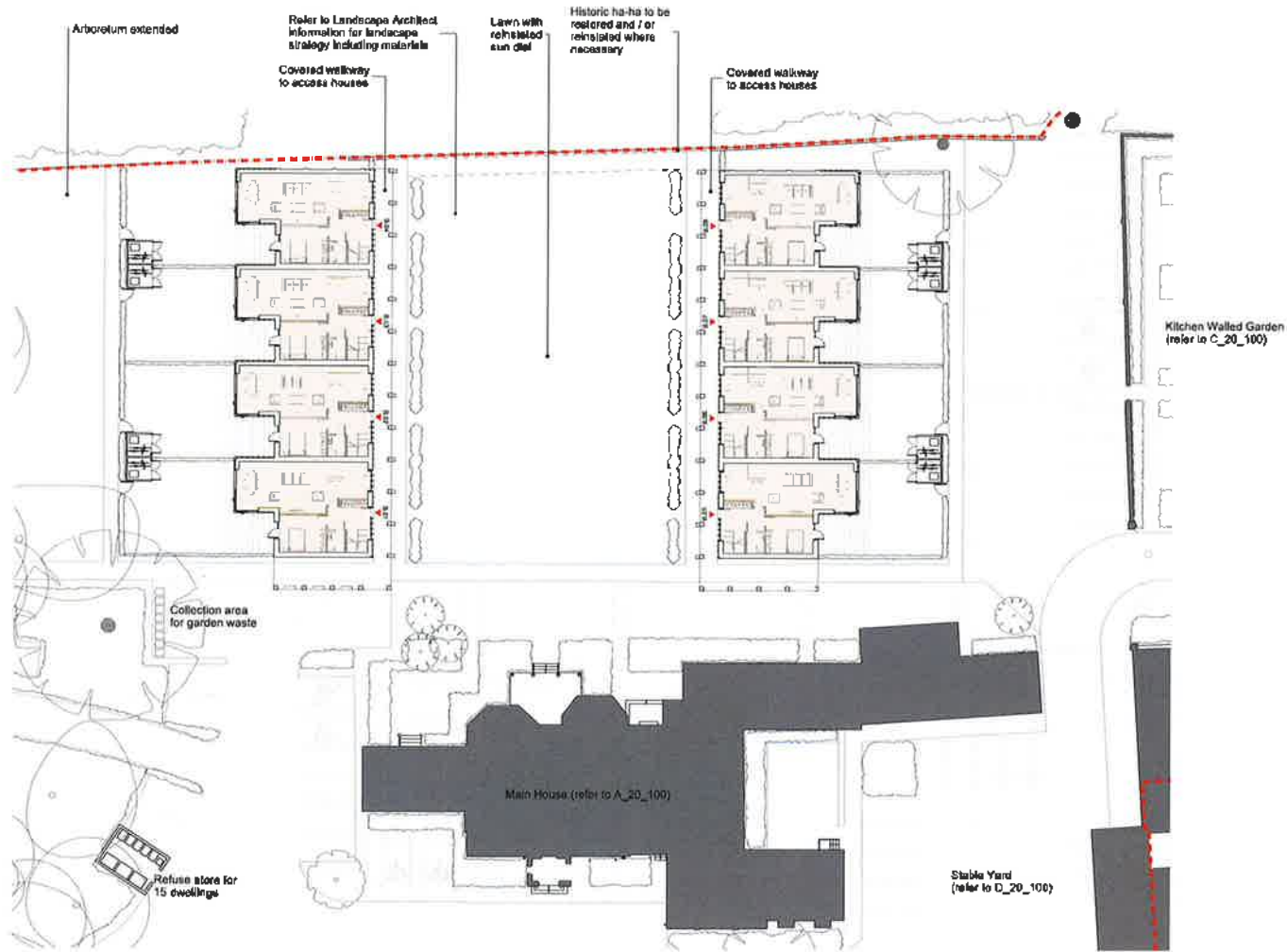


100, High Street, London, SE1 1TH

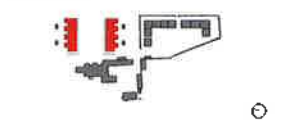
020 7424 1234

01 Main House - A.GF.06 Elevations





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Key
 - - - - - Existing
 - - - - - Proposed
 - - - - - To be reinstated

Accommodation Schedule

Unit	Area	Bedrooms	Bathrooms	Area
A101	2/2/2	2	2	800
A102	2/2/2	2	2	800
A103	2/2/2	2	2	800
A104	2/2/2	2	2	800
A105	2/2/2	2	2	800
A106	2/2/2	2	2	800
A107	2/2/2	2	2	800
A108	2/2/2	2	2	800
A109	2/2/2	2	2	800
A110	2/2/2	2	2	800

Revisions

1. Revised floor plan to include Main House
2. Revised floor plan to include Kitchen Walled Garden

Rev	Date	Description	By
P1	21/10/18	Planning application	SPH
P2	04/03/18	Planning application	SPH
P3	21/07/19	Planning Application	SPH
B	11/02/19	Structural Information	SPH
A	20/1/18	Issued for Information	SPH
I	21/12/19	Issued for Information	SPH
N	02/19	Approved for Construction	SPH

Banstead Place

Client: **Stonemore Homes**

Proposed: **Garden Walk - Site Plan**

PLANNING

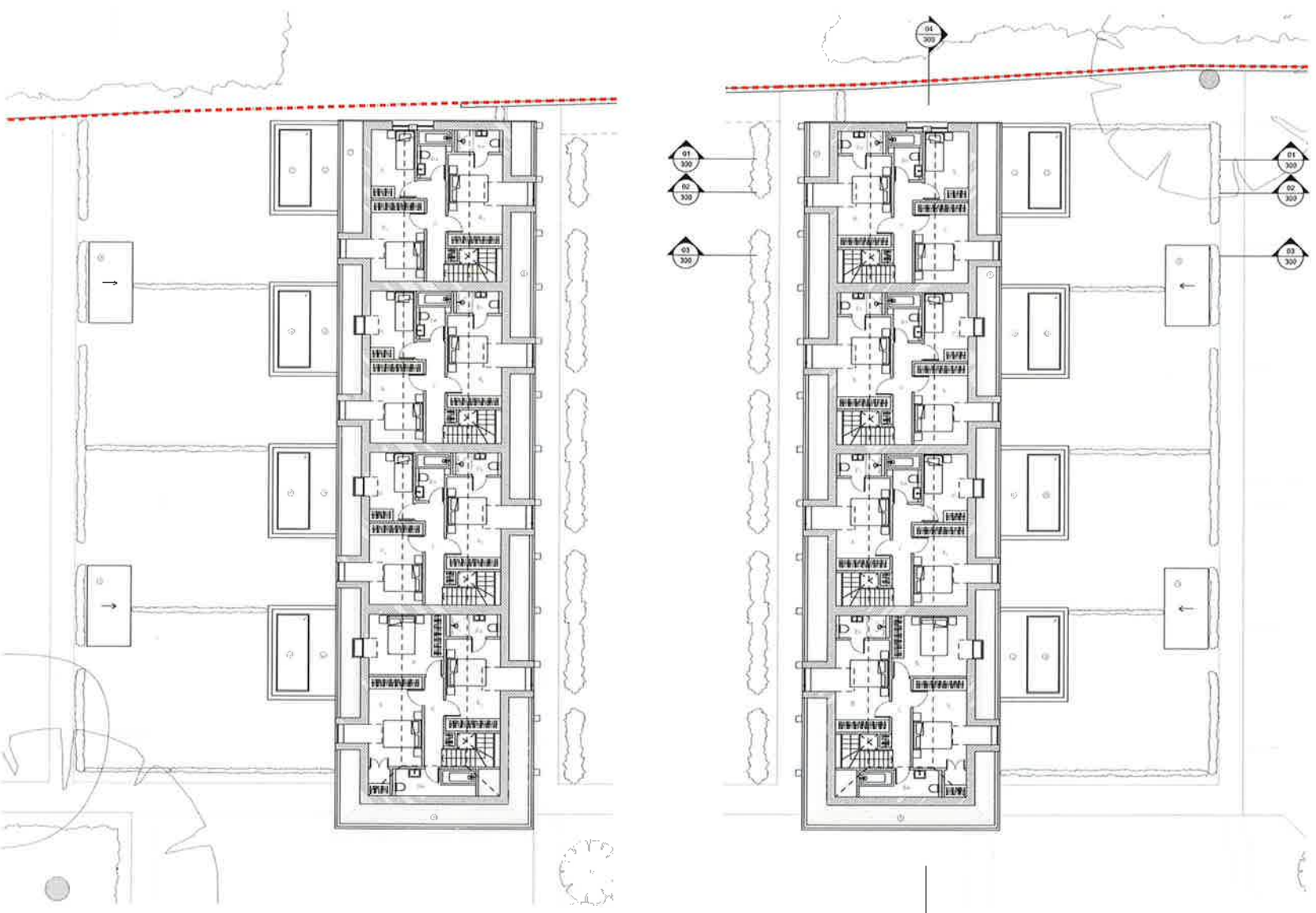
Reference: **18007** Date: **23/10/2019** Scale: **1:200**

Project: **P3** Scheme: **ED** Neighbourhood: **SPH** Drawing Number: **B_20_001**



01 Proposed: Garden Walk - Site plan
1:200





01 Proposed First Floor Plan
1:100



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- Key**
- Proposed boundary
 - Existing boundary
 - Proposed road
 - Existing road
 - Proposed path
 - Existing path
 - Proposed cycleway
 - Existing cycleway
 - Proposed footway
 - Existing footway
 - Proposed drainage
 - Existing drainage
 - Proposed utility
 - Existing utility
 - Proposed structure
 - Existing structure
 - Proposed structure to be demolished
 - Existing structure to be demolished
 - Proposed structure to be retained
 - Existing structure to be retained

Revisions

1. Revised drawings to reflect the latest planning application for the proposed development.

Rev.	Date	Description	By
P3	22/10/19	Planning amendment	S.P.
P2	04/10/19	Planning amendment	S.P.
P1	20/10/19	Planning application	S.P.
A	09/02/19	Issued for Information	S.P.
A	29/01/19	Issued for Information	S.P.
F	21/12/19	Issued for Information	S.P.

Banstead Place

Client: Stonegate Homes

Proposed: Garden Walk - First Floor Plan

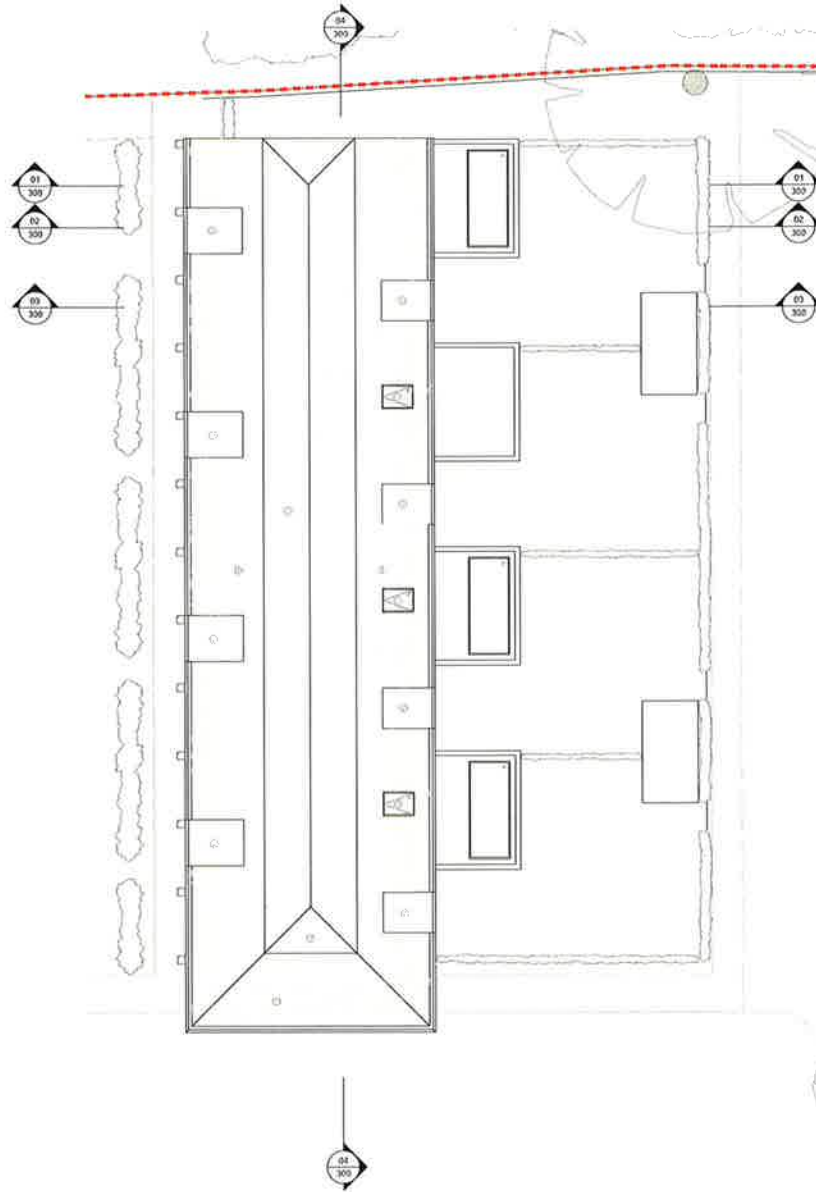
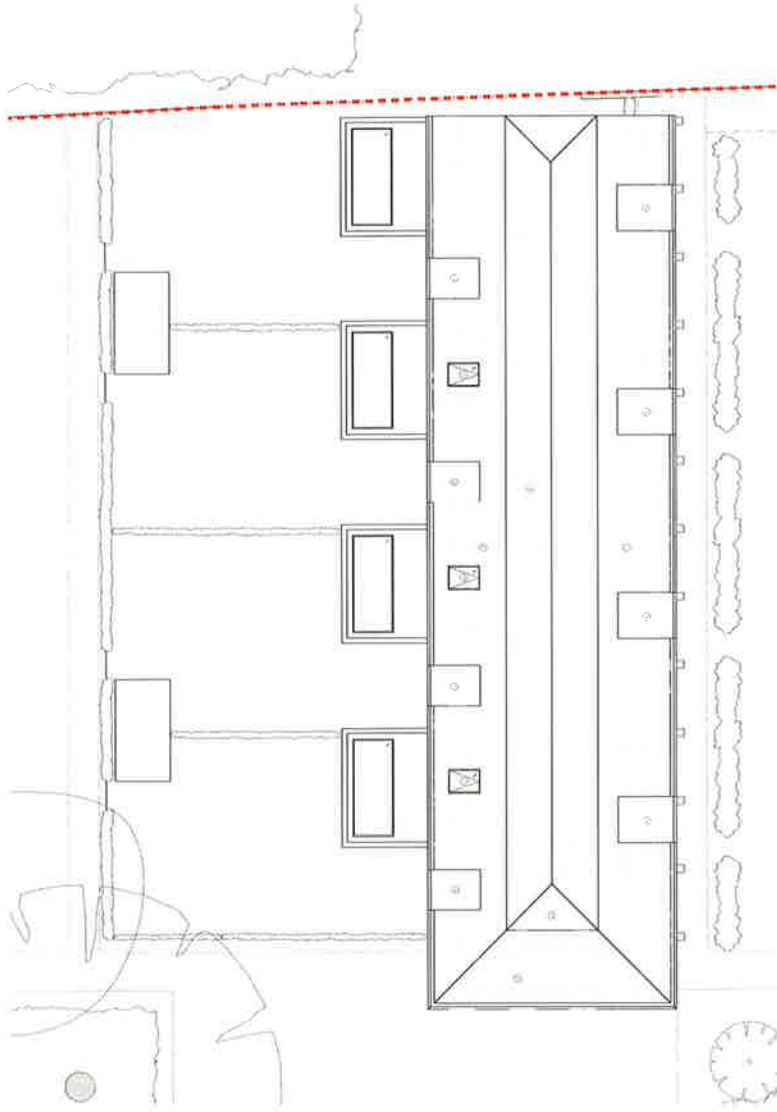
PLANNING

Proposed Ref	Date	Scale
16007	23/10/2019	1:100

Rev.	By	Appr.	Scale
P3	ED	SPH	B_20_101

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01 Proposed Roof Plan
1:100



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 All work must comply with relevant Building Regulations and Building Standards to requirements. Drawing errors and omissions to be reported to our team.



- Key**
- Proposed
 - Existing
 - ▭ Existing Wall
 - ▭ Existing Window
 - ▭ Existing Door
 - ▭ Existing Staircase
 - ▭ Existing Lift
 - Existing Column

Revisions

1. Structural steelwork to be removed from the roof structure to allow for the proposed roof structure.

Rev	Date	Description	By
P0	20.05.18	Planning submission	SPH
P1	24.05.18	Planning submission	SPH
P2	27.05.18	Planning submission	SPH
A	01/06/18	Issues for Information	SPH
A	28/06/18	Issues for Information	SPH
F	27/07/18	Issues for Information	SPH

Banstead Place

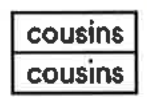
Client: Stonegate Homes

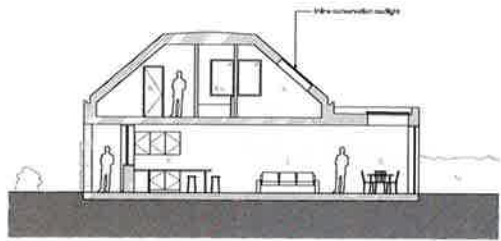
Proposed: Garden Walk - Roof Plan

PLANNING

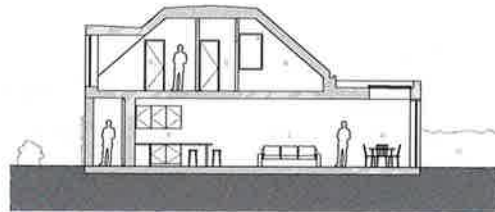
18007 23/10/2018 1-100

P3 ED SPH B_20_102

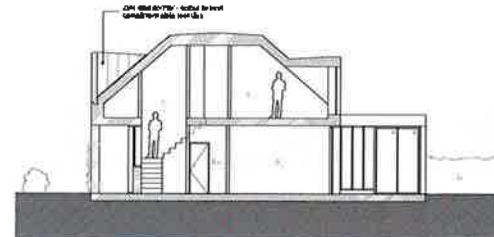




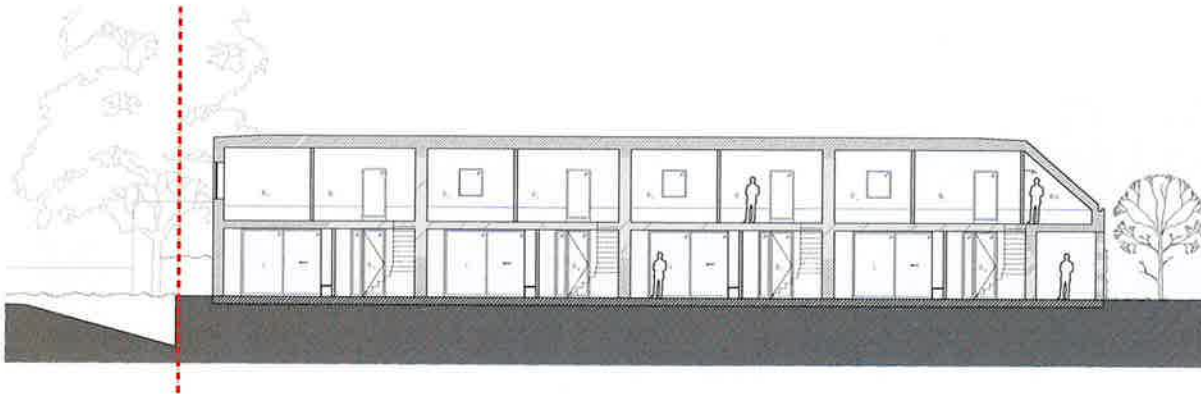
01 Proposed Section AA
1:100



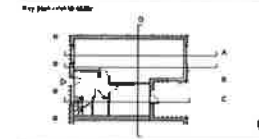
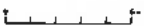
02 Proposed Section BB
1:100



03 Proposed Section CC
1:100



04 Proposed Section DD
1:100



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- Key**
- Existing boundary
 - Proposed wall
 - Proposed floor
 - ▲ Existing structure
 - Existing window
 - Existing door
 - Existing staircase
 - Existing chimney
 - Existing roofline
 - Existing garden
 - Existing driveway
 - Existing fence
 - Existing path
 - Existing tree
 - Existing hedge
 - Existing boundary

- Revisions**
1. Floor plan of section AA to Section AA-B
 2. Revised floor plan design to include existing steps along the side of the house.

PI	22.10.18	Planning permission	SPH
PI	04.02.19	Planning permission	SPH
PI	22.02.19	Planning Application	SPH
Rev	Drawn	Revised For Issue	CS

Banstead Place

Client: Stonegate Homes

Proposed: Garden Walk - Sections AA BB CC & DD

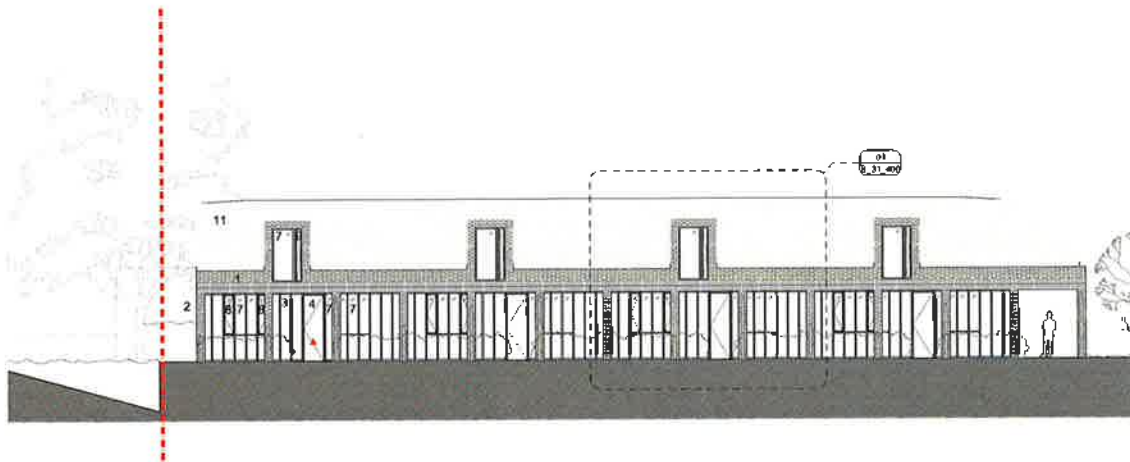
Phase: PLANNING

Project Number	Date	Drawing Scale
18007	23/10/2018	1:100
Revision	Drawn by	For Issue
P3	ED	SPH
		B_20_200

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 100% Ethical

100% Sustainable
 100% Green



01 Proposed NW Elevation
1:100



03 Proposed SE Elevation
1:100

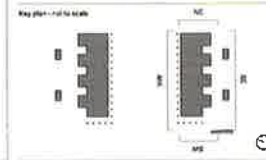


02 Proposed NE Elevation
1:100



04 Proposed SW Elevation
1:100

- Notes**
- 1 Gray brick laid in Flemish bond with double soldier course band - lime mortar colour to suit
 - 2 Gray brick columns - lime mortar colour to suit Climbing plant in front
 - 3 Deep fin oak frame with oak vertically clad infills
 - 4 Oak front door
 - 5 Oak frame glazed door
 - 6 Oak frame siltling door
 - 7 Framesless fixed glazing
 - 8 Timber frame double glazed casement operable windows
 - 9 Operable timber panel for ventilation
 - 10 In-line copper/valkon rooflight
 - 11 Slate roof tiles
 - 12 Zinc roof



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Key plan - not to scale



- Key**
- 1 Gray brick
 - 2 Gray brick columns
 - 3 Oak frame
 - 4 Oak frame glazed door
 - 5 Oak frame siltling door
 - 6 Oak frame double glazed casement operable windows
 - 7 Framesless fixed glazing
 - 8 Timber frame double glazed casement operable windows
 - 9 Operable timber panel for ventilation
 - 10 In-line copper/valkon rooflight
 - 11 Slate roof tiles
 - 12 Zinc roof

- Revisions**
- 1 Red brick for additional elevation drawings
 - 2 No more brickwork in the front - only grey stone/brick and red brickwork in the side wings
 - 3 No oak frame in the front - only grey stone/brick

Rev	Date	Description	By
P3	23/10/18	Final approved	SPH
P2	06/11/18	Planning approved	SPH
P1	22/01/18	Planning Application	SPH

Banstead Place

Client: Stonegate Homes

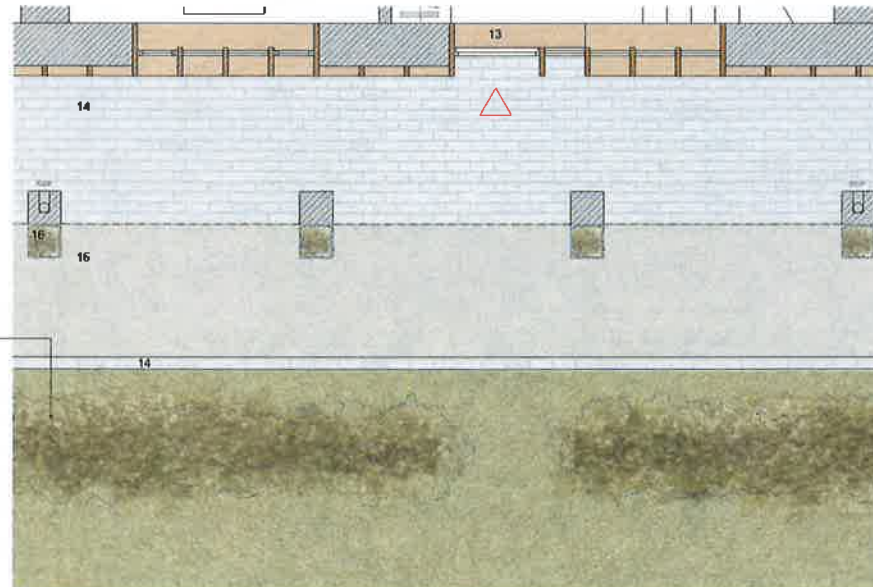
Proposed: Garden Walk - Elevations

PLANNING

Reference	Date	Scale
10007	23/10/2018	1:100

Rev	Date	Author	Project
P3	ED	SPH	B_20_300

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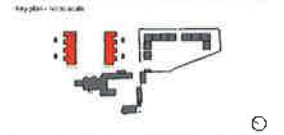
Refer to Landscape Architect information for landscape strategy including materials

01 Garden Walk - Ground Floor Front Door
125



- Notes**
- 1 Zinc roof
 - 2 Slate roof
 - 3 Frameless fixed glazing
 - 4 Operable oak panel for ventilation
 - 5 Oak sill
 - 6 Concealed gutter
 - 7 Grey brick laid in Flemish bond - lime mortar colour to suit
 - 8 Grey brick laid in soldier bond - lime mortar colour to suit
 - 9 Grey brick column - lime mortar colour to suit
 - 10 Deep fin oak frame with oak vertically clad infills
 - 11 Timber frame double glazed casement operable window
 - 12 Oak front door
 - 13 Oak threshold
 - 14 Brick paving
 - 15 Resin bound gravel path
 - 16 Climbing plant

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- Key**
- █ Building Foot
 - █ Proposed Work
 - █ Existing Work
 - █ Other Work

Revisions

No.	Description	Date
1	Revised to include landscape strategy	23/10/2019
2	Revised to include landscape strategy	23/10/2019

Project	23/10/19	Planning permission	SPH
Ref.	22/21/19	Planning application	SPH
Scale	1:25	Revision for issue	001

Banstead Place

Client: Stonegate Homes

External Openings
Ground Floor Front Door

PLANNING

Project Number	Date	Scale	Drawn By
16007	23/10/2019	1:25	
Author	Drawn By	Reviewed By	Check/Approved By
P2	ED	SPH	B_31_400

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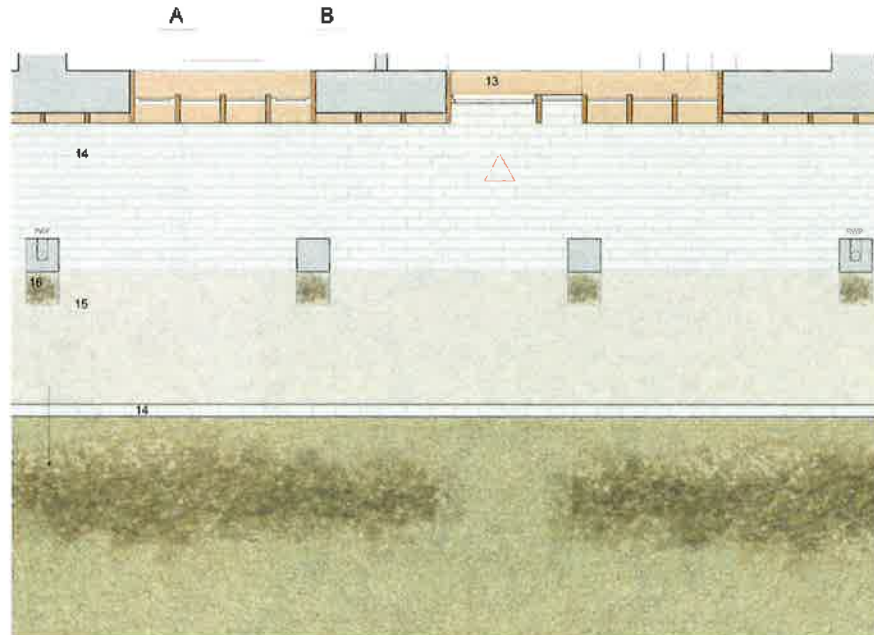
Section A



Section B

Refer to Landscape Architect information for landscape strategy including materials

Refer to Landscape Architect information for landscape strategy including materials



01 Garden Walls - Ground Floor Front Door Sections



Notes

- 1 Zinc roof
- 2 Slate roof tiles
- 3 Frameless fixed glazing
- 4 Operable oak panel for ventilation
- 5 Oak sill
- 6 Concealed gutter
- 7 Grey brick laid in Flemish bond - lime mortar colour to suit
- 8 Grey brick laid in soldier bond - lime mortar colour to suit
- 9 Grey brick columns - lime mortar colour to suit
- 10 Deep fir oak frame with oak vertically clad infill
- 11 Timber frame double glazed casement operable window
- 12 Oak front door
- 13 Oak threshold
- 14 Brick paving
- 15 Resin bound gravel path
- 16 Climbing plant

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See Project Brief for details. This drawing should not be used for construction or for the purposes of valuation. All dimensions are typical unless otherwise stated and each dimension is to be taken as shown. Do not scale drawings.

All work must comply with relevant British Standards and Building Regulations. Responsibility for any errors and omissions is to be reported to the architect.

Key plan to be made



Key

- █ External
- █ Internal
- Detail
- Section

Revisions

- 1 Changed brickwork to Flemish bond
- 2 Revised landscaping to include climbing plants along the retaining wall to a maximum height of 2.0m

01	23/10/18	Drawing complete	SPH
01	23/10/18	Working Architecture	SPH

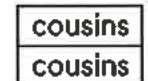
Banstead Place

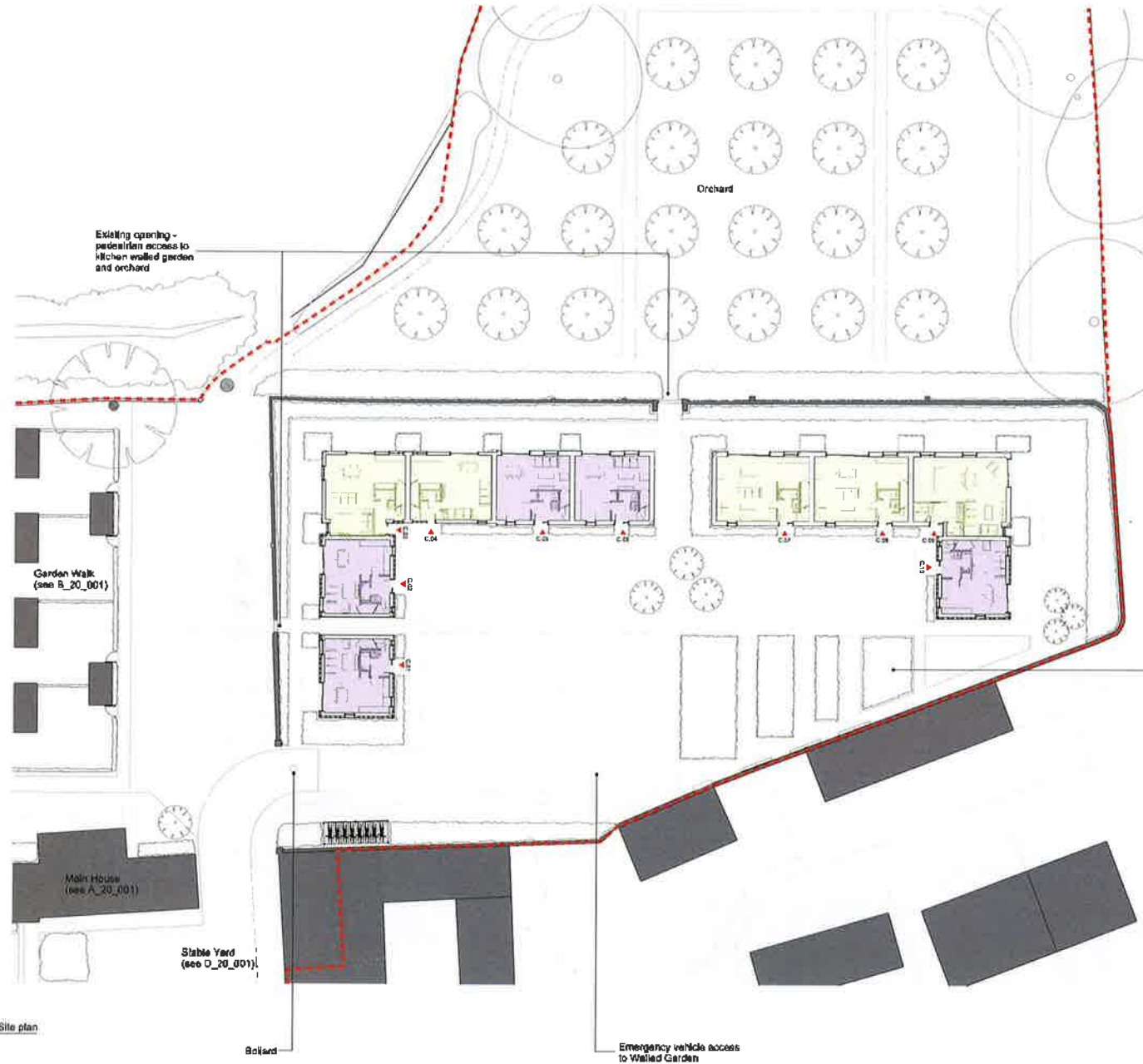
Stonegate Homes

External Openings
Ground Floor Front Door

PLANNING

18007	23/10/2019	1:25
Phase	ED	SPH
Project	ED	SPH
Sheet	B_31_401	

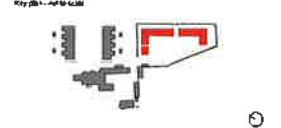




01 Proposed: Site plan
1:200



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Key

---	Existing	□	Site
---	Proposed	□	Other
▲	Proposed		

Accommodation Schedule

UNIT	AREA	NO. BEDS	NO. BATHS	TYPE
C101	101 S.H.	44.2	2BPT	2B PT
C102	102 S.H.	44.2	2BPT	2B PT
C103	103 S.H. S.P.	22.1	1BPT	1B PT
C104	104 S.H. S.P.	22.1	1BPT	1B PT
C105	105 S.H.	44.2	2BPT	2B PT
C106	106 S.H.	44.2	2BPT	2B PT
C107	107 S.H.	44.2	2BPT	2B PT
C108	108 S.H.	44.2	2BPT	2B PT
C109	109 S.H.	44.2	2BPT	2B PT
C110	110 S.H.	44.2	2BPT	2B PT
C111	111 S.H.	44.2	2BPT	2B PT
C112	112 S.H.	44.2	2BPT	2B PT
C113	113 S.H.	44.2	2BPT	2B PT
C114	114 S.H.	44.2	2BPT	2B PT
C115	115 S.H.	44.2	2BPT	2B PT
C116	116 S.H.	44.2	2BPT	2B PT
C117	117 S.H.	44.2	2BPT	2B PT
C118	118 S.H.	44.2	2BPT	2B PT
C119	119 S.H.	44.2	2BPT	2B PT
C120	120 S.H.	44.2	2BPT	2B PT
C121	121 S.H.	44.2	2BPT	2B PT
C122	122 S.H.	44.2	2BPT	2B PT
C123	123 S.H.	44.2	2BPT	2B PT
C124	124 S.H.	44.2	2BPT	2B PT
C125	125 S.H.	44.2	2BPT	2B PT
C126	126 S.H.	44.2	2BPT	2B PT
C127	127 S.H.	44.2	2BPT	2B PT
C128	128 S.H.	44.2	2BPT	2B PT
C129	129 S.H.	44.2	2BPT	2B PT
C130	130 S.H.	44.2	2BPT	2B PT
C131	131 S.H.	44.2	2BPT	2B PT
C132	132 S.H.	44.2	2BPT	2B PT
C133	133 S.H.	44.2	2BPT	2B PT
C134	134 S.H.	44.2	2BPT	2B PT
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C136	136 S.H.	44.2	2BPT	2B PT
C137	137 S.H.	44.2	2BPT	2B PT
C138	138 S.H.	44.2	2BPT	2B PT
C139	139 S.H.	44.2	2BPT	2B PT
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C142	142 S.H.	44.2	2BPT	2B PT
C143	143 S.H.	44.2	2BPT	2B PT
C144	144 S.H.	44.2	2BPT	2B PT
C145	145 S.H.	44.2	2BPT	2B PT
C146	146 S.H.	44.2	2BPT	2B PT
C147	147 S.H.	44.2	2BPT	2B PT
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C149	149 S.H.	44.2	2BPT	2B PT
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C151	151 S.H.	44.2	2BPT	2B PT
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C173	173 S.H.	44.2	2BPT	2B PT
C174	174 S.H.	44.2	2BPT	2B PT
C175	175 S.H.	44.2	2BPT	2B PT
C176	176 S.H.	44.2	2BPT	2B PT
C177	177 S.H.	44.2	2BPT	2B PT
C178	178 S.H.	44.2	2BPT	2B PT
C179	179 S.H.	44.2	2BPT	2B PT
C180	180 S.H.	44.2	2BPT	2B PT
C181	181 S.H.	44.2	2BPT	2B PT
C182	182 S.H.	44.2	2BPT	2B PT
C183	183 S.H.	44.2	2BPT	2B PT
C184	184 S.H.	44.2	2BPT	2B PT
C185	185 S.H.	44.2	2BPT	2B PT
C186	186 S.H.	44.2	2BPT	2B PT
C187	187 S.H.	44.2	2BPT	2B PT
C188	188 S.H.	44.2	2BPT	2B PT
C189	189 S.H.	44.2	2BPT	2B PT
C190	190 S.H.	44.2	2BPT	2B PT
C191	191 S.H.	44.2	2BPT	2B PT
C192	192 S.H.	44.2	2BPT	2B PT
C193	193 S.H.	44.2	2BPT	2B PT
C194	194 S.H.	44.2	2BPT	2B PT
C195	195 S.H.	44.2	2BPT	2B PT
C196	196 S.H.	44.2	2BPT	2B PT
C197	197 S.H.	44.2	2BPT	2B PT
C198	198 S.H.	44.2	2BPT	2B PT
C199	199 S.H.	44.2	2BPT	2B PT
C200	200 S.H.	44.2	2BPT	2B PT

Revisions

1. Revised kitchen and garden layout. Landscape Architect Information

NO.	DATE	DESCRIPTION	BY
P3	22/01/19	Planning application	SPH
P2	04/02/19	Planning application	SPH
P1	22/01/19	Planning application	SPH
A	01/02/19	Approved Information	SPH
I	01/02/19	Approved Information	SPH
S	01/02/19	Approved Information	SPH

Banstead Place

Site
Storage Homes

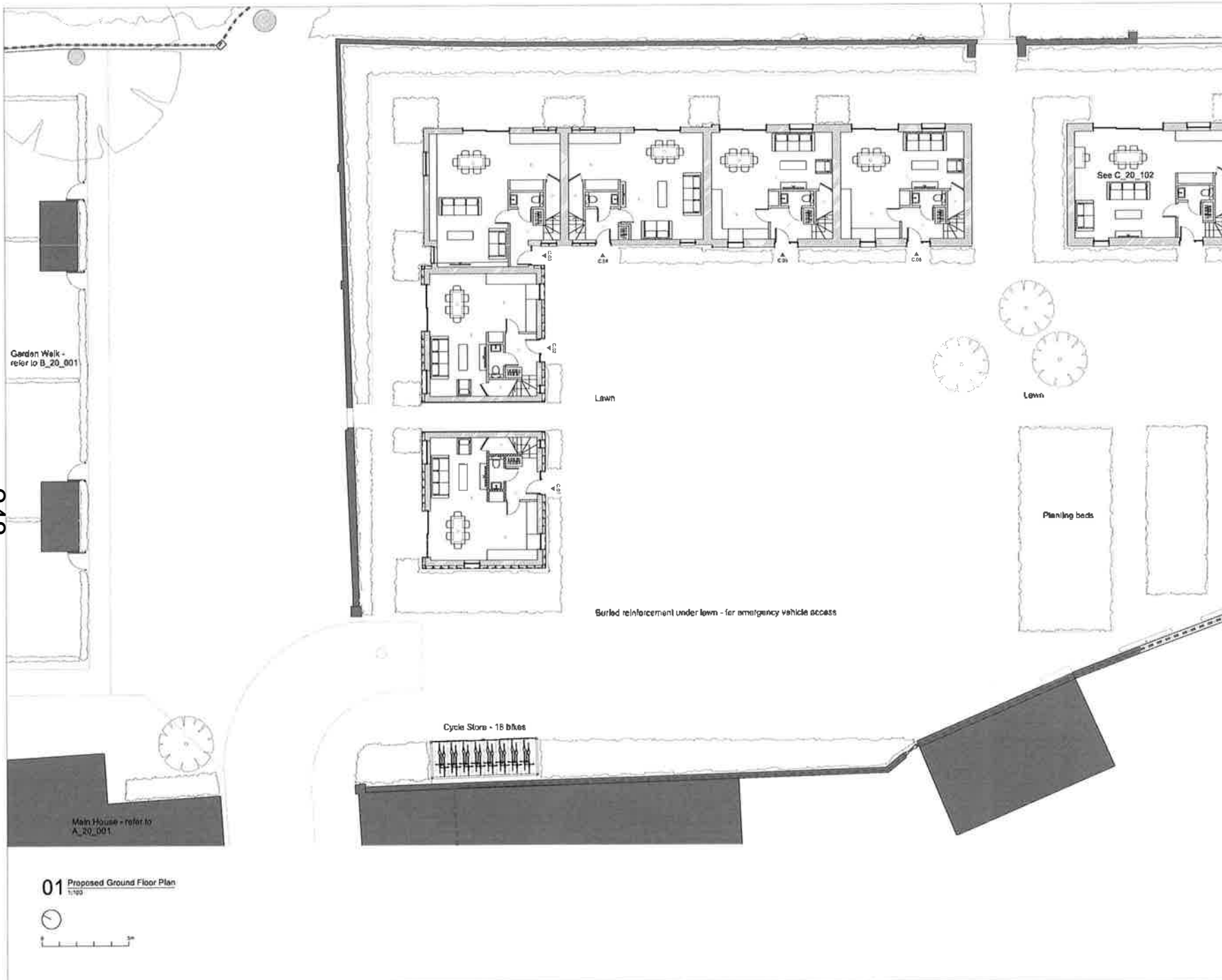
Proposed:
Walled Garden - Site Plan

PLANNING

Project Number	Date	Scale
10007	23/10/2019	1:200

Project	Client	Site Name	Site No.
P3	ED	SPH	C_20_001





Errors Omissions & Exclusions:
 No implied or reserved rights. This drawing should not be used to calculate, estimate, or provide a budget for construction. All dimensions are based on 0.1m to the nearest millimetre and shall remain to be their responsibility. Do not use for anything else.
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 Key site - refer to site plan.



Key

- Wall
- Floor
- Ceiling
- Stair
- Window
- Door
- Planting Bed
- Lawn
- Cycle Store
- Cycle
- Tree
- Bush
- Path
- Boundary

Revisions

1. Works of Construction - Final Construction
2. Works of Construction - Final Construction

Rev	Date	Description	By
P3	23.10.19	Planning amendment	SPH
P2	04.01.19	Planning amendment	SPH
P1	22.02.19	Planning Application	SPH
A	01.02.19	Issued for Information	SPH
I	18.01.19	Issued for Information	SPH
W	18.01.19	Work of Construction	SPH

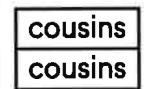
Banstead Place

Client: Stonegate Homes

Proposed: Walled Garden - Ground Floor Plan 1

PLANNING

Rev	Date	Description	By
18007	23/10/2019	1:100	
P3	ED	SPH	C_20_100



01 Proposed Ground Floor Plan
1:100



Garden Walk - refer to B_20_001

Main House - refer to A_20_001

Cycle Stors - 16 bikes

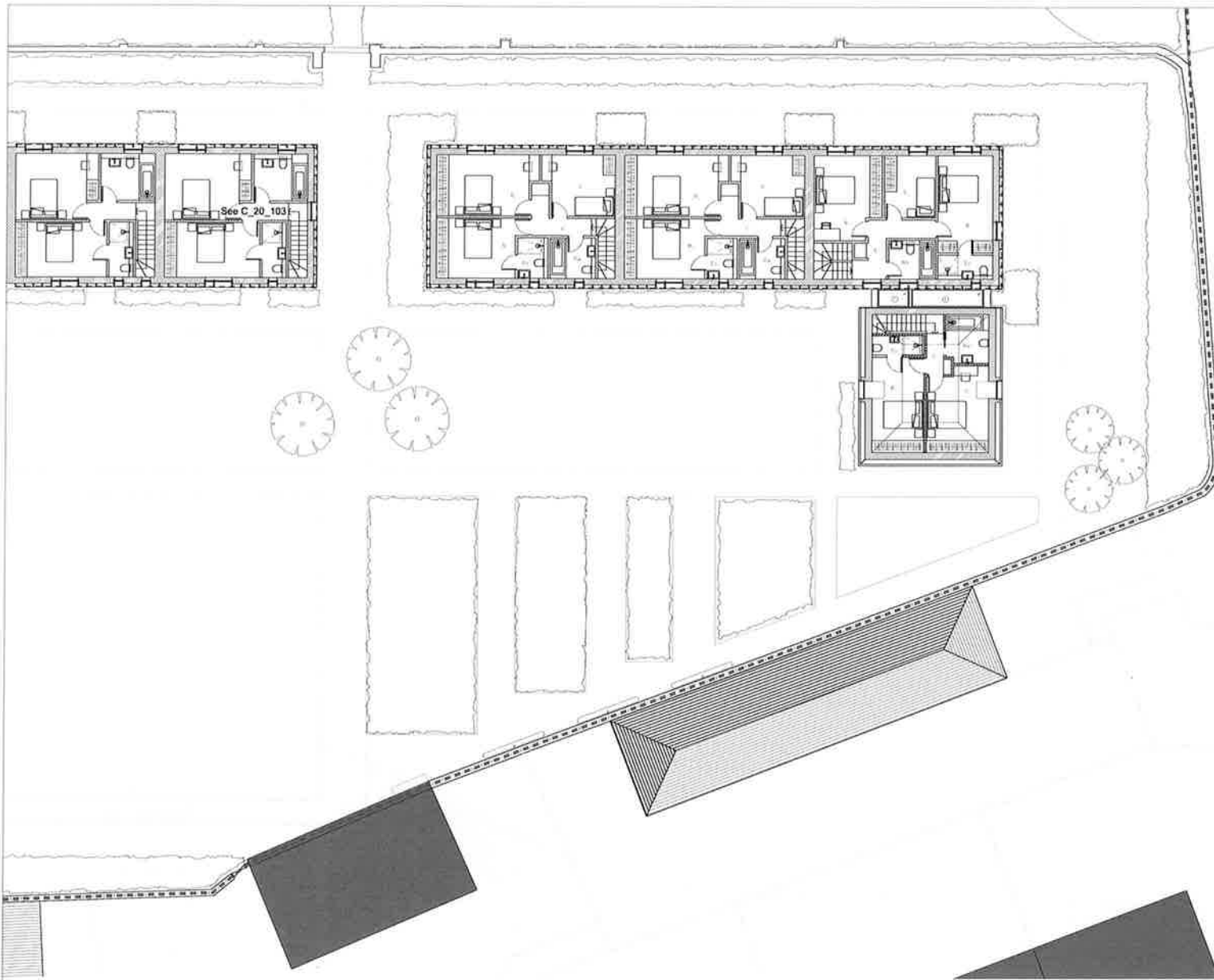
Lawn

Buried reinforcement under lawn - for emergency vehicle access

Lawn

Planting beds

See C_20_102



01 Proposed First Floor Plan
1/100



Display Controls & Create Arch View:
 See legend for more details. The drawing was created using AutoCAD software. The drawing is intended for use as a reference only. It is not intended to be used for construction purposes. The drawing is not to be used for any other purpose.
 All dimensions are given in millimeters unless otherwise stated. Dimensions are given to the center of lines unless otherwise stated.
 Key plan is not to scale.



- Key**
- Existing
 - Proposed
 - Access Road
 - 1. 20' Pav
 - 2. 10' Pav
 - 3. 20' Pav
 - 4. 10' Pav
 - 5. 20' Pav
 - 6. 10' Pav
 - 7. 20' Pav
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 - 94. 10' Pav
 - 95. 20' Pav
 - 96. 10' Pav
 - 97. 20' Pav
 - 98. 10' Pav
 - 99. 20' Pav
 - 100. 10' Pav

- Revisions**
1. Initial design of the proposed building.
 2. Revised design to include the proposed building.
 3. Revised design to include the proposed building.

P2	22.12.19	Planning Agreement	SPH
P1	27.02.19	Planning Application	SPH
P	16.01.2019	Issued for Information	SPH

Banstead Place

Client: Stonegate Homes

Proposed: Wallad Garden - First Floor Plan 2

PLANNING

Project No: 18007 Date: 23/10/2019 Scale: 1:100

Author: ED Date: 23/10/2019 Drawn: SPH Date: 23/10/2019


cousins
 cousins

175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

Agenda Item 9

Planning Committee
22nd January 2020

Agenda Item: 9
19/02012/OUT

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	22 nd January 2020
	REPORT OF:	HEAD OF PLACES & PLANNING
	AUTHOR:	James Amos
	TELEPHONE:	01737 276188
	EMAIL:	james.amos@reigate-banstead.gov.uk
AGENDA ITEM:	9	WARD: <i>Redhill East</i>

APPLICATION NUMBER:	19/02012/OUT	VALID:	17/10/2019
APPLICANT:	Transform Housing and Support	AGENT:	Playle and Partners
LOCATION:	CHAUCER COURT, 4 COLLEGE CRESCENT, REDHILL, RH1 2LN		
DESCRIPTION:	Erection of a two storey block containing 8 x 1 bedroom flats for supported living with car parking (Outline application with all matters, apart from landscaping, to be considered).		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

The application site is situated within the urban area where there is a presumption in favour of sustainable development. Outline planning permission is sought for a two storey building which would contain 8 x 1 bedroom flats to be used for supported living for single mothers with babies. An existing building on the site is used for the same purpose.

The matters for approval at this stage are access, appearance, layout and scale. The remaining matter, landscaping, would be for a reserved matters application if this is approved.

The proposed building would be of a similar scale, design and height to the existing two storey block on the site and would be sited centrally with good separation to the site boundaries.

Protected trees on the site would not be affected by the proposals and it is considered that the amenities of residents in neighbouring buildings would not be adversely affected.

Although only 4 car parking spaces are proposed, the applicants have confirmed that the future occupants are unlikely to have access to private cars when they are living at the site, and that in their experience (backed up by evidence from similar facilities) the parking provided for the existing building on the site is rarely used.

Agenda Item 9

Planning Committee
22nd January 2020

Agenda Item: 9
19/02012/OUT

The proposals would make efficient use of this previously developed site for new affordable housing which would meet an identified need, without harming amenities of neighbouring properties and are considered acceptable.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

Agenda Item 9

Planning Committee
22nd January 2020

Agenda Item: 9
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Consultations:

Highway Authority: The Highway Authority made the following comments with regards to the original submission

1. The CHA request evidence to support the claims made in connection to the level of parking proposed. The development is for 8 flats, which to meet the Reigate and Banstead Parking Standards, would require 8 car parking spaces. The proposal suggests that 4 car parking spaces are to be provided, but the CHA note the area highlighted is already in use as a car park to support the existing 8 flats located on the plot. It is further noted that mention is made that the development is to provide support units and as such the occupants are not likely to own a private car. Can the applicant please provide evidence to substantiate that position, based on other sites owned and operated by the applicant. The CHA also request clarification around the use of the car park connected to the existing residential block, in effect how many of the existing 13 car parking spaces are in use on a regular basis by the residents. The CHA requests this information to determine that no overspill would take place, as it is considered the development would lead to a reduction in car parking levels, resulting in an intensified use of the remaining 9 car parking spaces for 16 flats. Subject to the above, a revised plan is requested to highlight where any additional parking would be located.

2. The CHA request a revised plan is submitted that details the location and type of cycle storage to be provided. Please request that the Applicant provides the above amendments/information in sufficient time so that we may respond before your deadline for determination. Please ensure that the response to this letter is in writing and all appropriate documentation, as requested, is attached.

In response, the applicants have submitted a statement in support of the car parking provision on the site and Surrey Highways have been re-consulted. They have further commented as follows:

The CHA highlighted that the proposals will result in the loss of on-site car parking in connection to an increased number of residential units being proposed, presently there are 13 car parking spaces available for 8 units, in accordance with the minimum car parking standards. This application is seeking an uplift of a further 8 units, bringing the overall total on-site to 16 units. In accordance with the Reigate and Banstead Parking Standards, a minimum of 20 car parking spaces are considered required to support that number of units in a medium accessibility area. This proposal will result in the overall reduction of 4 car parking spaces, resulting in a maximum of 9 car parking spaces on-site to support 16 units, less than half the required number to comply with the Reigate and Banstead minimum car parking standards.

In response, the applicant has submitted information to outline that the units are designated as supported living units, for occupiers that require additional support and management. The information submitted details that of the 8 existing units, the level of car ownership is no more than 25%. Further similar sites owned and operated by Transform Housing have been submitted to highlight that across these other sites the maximum level of car ownership has been noted as 43%. Therefore,

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Transform Housing consider that a reduction of 4 car parking spaces would be acceptable and should be supported with the reduced 9 car parking spaces. Citing that 9 car parking spaces would still provide sufficient capacity for both the occupiers and visitors to ensure that overspill parking would not take place on the public highway. Transform Housing therefore request that account is taken of the car ownership levels rather than the adopted car parking standards.

The CHA highlight this as an amenity issue to Reigate and Banstead, as the classification being sought for the new building remains C3, residential. Therefore, no objection is raised by the CHA but they advise, should the units not be used by Transform Housing for the purpose being sought, the overall site would be left with a significant shortfall in the number of on-site car parking spaces, and no information has been submitted to demonstrate if this could be accommodated should this situation arise. A condition specifying the use is therefore suggested to prevent this situation from occurring.

Representations:

Letters were sent to neighbouring properties on 25 October 2019, a site notice was posted 29 October 2019.

1 response has been received raising the following issues:

Issue	Response
Loss of /harm to trees	See paragraph 6.23
Overdevelopment	See paragraphs 6.4 – 6.10
Noise & disturbance	See paragraphs 6.11 – 6.15
Overbearing relationship	See paragraphs 6.11 – 6.15
Overlooking and a loss of privacy	See paragraphs 6.11 – 6.15
Overshadowing	See paragraphs 6.11 – 6.15

1.0 Site and Character Appraisal

- 1.1 The application site is located on the northern side of Chaucer Close, approximately 70 metres to the west of its junction with Frenches Road. The site is currently occupied by a two storey block which contains 8 flats which are used by the applicants to provide accommodation for supported living. Vehicular access to the site from Chaucer Close leads to a small car parkin containing 5 spaces. To the rear of the site is a large area of garden are which is laid to grass but is of an unkempt appearance.
- 1.2 To the west of the site is the southern campus of East Surrey College, whilst to the east is a single storey building care home called The Pines. To the north, the site has a boundary with 17 and 19, Westway Gardens, two storey residential properties.

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- 1.3 The area around the site is primarily residential in character. The large buildings of East Surrey College are located immediately to the west. The Council's Local Distinctiveness Guide identifies the site as falling within an area that has the character of 1930s -1050s suburbia.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Pre-application consultation was undertaken with the Council (PAM/19/00330). In its written response, the Council case officer concluded that the principle of development was acceptable. No comments were offered on the form or design of the proposal as the pre-application consultation did not include any further details.
- 2.2 Improvements secured during the course of the application: The proposals are considered acceptable.
- 2.3 Further improvements could be secured through the use of conditions and a legal agreement to secure affordable housing provision.

3.0 Relevant Planning and Enforcement History

- | | | | |
|-----|--------------|--|-----------------------|
| 3.1 | 16/01519/TPO | T1 scots pine remove split branch,
T2 scots pine reduce lateral
branches by 2m | Granted
18/08/2016 |
|-----|--------------|--|-----------------------|

4.0 Proposal and Design Approach

- 4.1 This is an outline application for the erection of a two storey block which would contain 8 one bedroom flats which would be used for supported living for single people with low support needs or for single mothers with babies or young children.
- 4.2 The matters for approval at this stage are access, appearance, layout and scale. The remaining matter, landscaping, would be for a reserved matters application if this is approved.
- 4.3 The proposed block would of a similar scale and form to the existing building on the site and would provide a similar type of accommodation. The building would be built in modular form and would be finished in brick with a tiled roof. The existing access to the site would be re-used. A total of 4 car parking spaces would be provided with cycle parking to be provided via a condition.
- 4.4 Transform Housing & Support (TH&S) are a charity that offers people a safe place to live, with support to deal with the issues they are facing. They state that their clients living in supported housing have their own room or flat in a property managed by Transform. The majority of accommodation is fully furnished, including kitchen equipment and bedding. Transform give people a place to call home, where they can get their life back on track. They state that each resident has their own keyworker who provides one to one support.

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- 4.5 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.6 Evidence of the applicant's design approach is set out below:

Assessment	The statement notes that the site forms part of their existing site in Chaucer Court.
	The statement notes the existence of protected trees on the site which will be retained.
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	The statement explains that the proposals would make use of modern methods of construction.

- 4.7 Further details of the development are as follows:

Site area	0.17ha
Proposed parking spaces	4
Parking standard	8
Number of affordable units	8
Net increase in dwellings	8

5.0 Policy Context

5.1 Designation

Urban area

Tree Preservation Order RE567 (11 pines on land to the north side of College Crescent Redhill adjacent to the boundary with Westway Gardens)

5.2 Reigate and Banstead Core Strategy

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CS1(Sustainable Development)
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS14 (Housing Needs)
CS15 (Affordable Housing)
CS17 (Travel Options and accessibility)

5.3 Reigate & Banstead Development Management Plan 2019

DES1 (Design of new development)
DES2 (Residential garden land development)
DES5 (Delivering high quality homes)
DES7 (Specialist accommodation)
DES8 (Construction management)
TAP1 (Access, parking and servicing)
CCF1 (Climate change mitigation)
NHE3 (Protecting trees, woodland areas and natural habitats)
INF1 (Infrastructure)

5.4 Other Material Considerations

National Planning Policy Framework
National Planning Practice Guidance
Supplementary Planning Guidance

Surrey Design
Local Distinctiveness Design Guide
Vehicle and Cycle Parking
Guidance 2018

Other

Human Rights Act 1998
Community Infrastructure Levy
Regulations 2010

6.0 **Assessment**

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms.

6.2 The proposed flats within the building would be occupied by tenants of the applicant company, Transform Housing and Support, who are a local charity, offering high-quality housing, support and homecare to their tenants who require supported living. Tenancies are offered on a short -term basis to their clients who may be homeless or at risk of homelessness. As such, the proposal would be supported by DMP Policy DES7 which offers support to proposals that provide accommodation for people with support needs, in locations that are easily accessible to shops, public transport, community facilities and services.

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6.3 The main issues to consider are:

- Design appraisal
- Neighbour amenity
- Highway matters
- Trees
- Affordable housing
- Space Standards
- Community Infrastructure Levy

Design appraisal

- 6.4 This is an outline application for the erection of a two storey block contained 8 x 1 bedroom flats to be located to the rear of the existing small block of flats at Chaucer Court. The matters for approval at this stage are access, appearance, layout and scale. The remaining matter, i.e. landscaping would be for consideration for a later application if this is approved.
- 6.5 The proposed block would be of a similar design, scale and appearance to the existing building on the site and would occupy part of the large rear garden of the property. It would have a low hipped roof and would be finished in similar materials to the adjoining building, including bricks to the main elevations and terracotta tiles to the roof. Windows would be finished in brown frames to match the existing building on the site. The building would incorporate a central covered access to all flats including deck access to the upper storey.
- 6.6 The location of the new building at the rear of the site would be acceptable in terms of protecting the character of the area. It would be partly screened from College Crescent by the existing building and would occupy an area of the site that does not appear well-used or well maintained. The building would be screened at the side and rear by the mature planting on the northern and western boundaries.
- 6.7 The use of the site for the erection of supported living units would conform with the character of the existing building on the site and with other care uses and institutional uses in College Crescent.
- 6.8 Subject to the imposition of conditions relating to materials and landscaping, it is considered that the proposed development would accord with the provisions of DMP Policy DES1.
- 6.9 DMP Policy DES2 relates to the development of residential garden land and requires a proposal to comply with a number of criteria. In this case, it is considered that the proposals accord with the Policy. It has been designed to respect the scale form and external materials of existing buildings in the area, and would be of a height, bulk and mass to ensure that the building would be in keeping with the existing street scene. The proposal would make use of the existing access into the site and would leave adequate space around the

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building for landscaping, for the protection of existing trees and for the amenity area to be properly designed for the residents.

- 6.10 In the light of these comments, it is considered that the proposals would not cause harm to the character of the area and would comply with DMP policies DES1 and DES2.

Neighbour amenity

- 6.11 The proposed development has been assessed with regards to its impact on the amenity of neighbouring properties. Objections have been expressed about the impact of the proposal on local residential amenities, as regards overdevelopment, overbearing effect and impacts with respect to overshadowing, overlooking and loss of privacy.
- 6.12 The nearest residential properties to the site are the existing building on the site at Chaucer Court, immediately to the south, no. 17, Westway Gardens to the north and the care home at 2, College Crescent to the east.
- 6.13 The northern elevation of the existing building would be located approximately 6m away from the southern elevation of the proposed building. There are windows in the northern elevation of the existing building but none in the new building. As a result, there would be no mutual overlooking. The buildings would be in close proximity at the south eastern corner, but due to the orientation of the existing building on the site the gap would widen further to the western side of the site to the extent that the two buildings would have an acceptable relationship.
- 6.14 The property at no 17, Westway gardens is set at a right angle to the application site with the side elevation of the property located over 10m from its southern boundary with Chaucer Court. The new building, at the nearest point (north-east corner) would be located over 15m from the flank wall of no 17 Westway Gardens. There would be no direct overlooking due to the disposition of windows, and due to the separation, the proposed building would not have an overbearing impact or cause any overshadowing to the neighbouring property.
- 6.15 To the east, the new building would be located some 24m away from the flank elevation of the neighbouring care home at 2, College Crescent. Although there would be windows in the flank elevation of the new block, the separation distance and planting on the boundary would prevent any direct overlooking towards no. 2. It is considered therefore, that the proposed scheme would not unacceptably affect the amenity of neighbouring properties and complies with DMP policy DES1.

Highway Matters

- 6.16 The proposal seeks to use the existing access point from College Crescent and would provide 4 car parking spaces for the residents of the new building.

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This would be in addition to the 5 spaces that are available to residents of the existing building.

- 6.17 The experience of the applicants who own the existing building on the site which is for a similar type of accommodation, is that the car parking spaces are rarely used. They state that currently two of eight tenants at Chaucer Court have cars, giving a car ownership ratio of 25%. This results in only two of the current thirteen parking spaces being occupied on a daily basis. Spaces are sometimes used by occasional visitors and support staff when they visit the tenants in the property.
- 6.18 TH&S go on to state that they have similar blocks of flats where car ownership is low, primarily due to the financial expense of owning and insuring a car, which is often prohibitive on a low income. They have provided examples, set out below, of TH&S other residential sites that demonstrate car ownership for TH&S tenants. They state that these result in an average of 30% car ownership from a total of 38 flats.
- Poplar House: car ownership ratio of 43%,
 - Hillbury Court: car ownership ratio of 22%,
 - Lancaster Court: car ownership ratio of 16%,
 - Cedar Court: car ownership ratio of 37%.
- 6.19 In reviewing the averages, TH&S have concluded that even if 50% of the residents of Chaucer Court owned a car (which exceeds even the highest car ownership at their current sites), nine spaces would be sufficient to meet the parking needs for the tenants, staff and visitors.
- 6.20 The proposal will provide the five existing marked bays, with four further formal marked bays provided on a new hardstanding parking area. The total number of parking spaces provided will be nine.
- 6.21 Surrey County Council have been consulted on the proposals. They note that the information submitted details that of the 8 existing units, the level of car ownership is no more than 25%. Further similar sites owned and operated by Transform Housing have been submitted to highlight that across these other sites the maximum level of car ownership has been noted as 43%. Therefore, Transform Housing consider that a reduction of 4 car parking spaces would be acceptable and should be supported with the reduced 9 car parking spaces. Citing that 9 car parking spaces would still provide sufficient capacity for both the occupiers and visitors to ensure that overspill parking would not take place on the public highway. Transform Housing therefore request that account is taken of the car ownership levels rather than the adopted car parking standards.
- 6.22 The CHA highlight this as an amenity issue to Reigate and Banstead, as the classification being sought for the new building remains C3, residential. Therefore, should the units not be used by Transform Housing for the purpose being sought, the overall site would be left with a significant shortfall in the number of on-site car parking spaces, and no information has been

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submitted to demonstrate if this could be accommodated should this situation arise.

- 6.23 It is considered that the provision of 4 car parking spaces for the new building, although below the parking requirements identified in the adopted Car parking Standards, is considered acceptable in this instance, as the accommodation is of a specialist type and will be used by residents who are unlikely to have access to a car. Given that the accommodation provided is of a specialist type and is to be provided by a Registered Provider, it is considered that sufficient safeguards would be in place to ensure that the accommodation remains for its intended purpose. Due to the development being for supported living it is not appropriate for all parking spaces to be required to provide an electric charging point, and rather just one is required as a result.

Trees

- 6.24 The application is supported by an Arboricultural Impact Assessment which identifies the trees on the site and makes recommendations for their protection. The Council's tree officer has reviewed the plans and concludes that the arboricultural report demonstrates this scheme can be implemented without the need to remove any trees and there is adequate distance between the building and canopy not to be a constraint which can result in post development pressure to remove them. This is particularly important because the trees in group G5 are protected under TPO RE567. Additional information such as underground services is required, and it is considered that this could be a condition in the event that planning permission is granted via a revised tree protection plan.

Affordable Housing

- 6.25 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, in November 2014, the Government introduced policy changes through a Written Ministerial Statement and changes to the national Planning Practice Guidance which restrict the use of planning obligations to secure affordable housing contributions from developments of 10 units or less. These changes were given legal effect following the Court of Appeal judgement in May 2016.
- 6.26 In view of this, and subsequent local appeal decisions which have afforded greater weight to the Written Ministerial Statement than the Council's adopted policy, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less. The absence of an agreed undertaking does not therefore warrant a reason for refusal in this case.

Space Standards

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- 6.27 Development Management Plan Policy DES5 requires new residential development to, amongst other things, meet the relevant nationally described space standards for each individual unit. The relevant standard for this type of unit, which is a 1 bed unit over 1 floor with a bathroom, would require a gross internal floor area of 39m². Each unit is shown to have a floor area of 50m², which exceeds the required standard.

Community Infrastructure Levy (CIL)

- 6.28 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, road, public transport and community facilities which are needed to support new development. This development would be CIL liable. However, the proposal is for a form of affordable housing for which there is an exemption.

CONDITIONS

1. Approval of details of the landscaping of the site (hereinafter called the “reserved matters”) shall be obtained from the Local Planning Authority in writing before any development is commenced and carried out as approved. Plans and particulars of the reserved matters referred to above, shall be submitted in writing to the Local Planning Authority before the expiration of three years from the date of this permission. The development hereby permitted shall be begun either before the expiration of five years from the date of this permission, or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.

Reason: To comply with Article 5 of the Town and Country Planning (General Development Procedure) (England) Order 2015 (or any order revoking and re-enacting that Order) and Section 92(2) of the Town and Country Planning Act 1990 as amended by Section 51(2) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date Received
Location plan	9794 00-1102	B	16.10.2019
Site layout plan	9794 00-1103	B	08.10.2019
Site layout plan	9794 00-3101	B	08.10.2019
Proposed plans	9794 00-3102	C	08.10.2019
Proposed Floor layouts	9794 ZZ-3102	B	08.10.2019
Elevation plan	9794 ZZ-3201	B	08.10.2019

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Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. No development shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

4. No development shall take place above slab level until written details of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

5. No development shall commence including demolition and or groundworks preparation until a detailed, scaled Tree Protection Plan (TPP) and the related Arboricultural Method Statement (AMS) is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to scale on the TPP, including the installation of service routings. The AMS shall also include a pre-start meeting, supervisory regime for their implementation & monitoring with an agreed reporting process to the LPA. All works shall be carried out in strict accordance with these details when approved.

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE3.

Informative:

The use of a suitably qualified arboricultural consultant is essential to provide acceptable submissions in respect of the arboricultural tree condition above. All works shall comply with the recommendations and guidelines contained within British Standard 5837

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6. No development above slab level shall commence on site until a scheme for the landscaping of the site including the retention of existing landscape features has been submitted to and approved in writing by the LPA. Landscaping schemes shall include details of hard and soft landscaping, including any tree removal/retention, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation and management programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or within the first planting season following completion of the development hereby approved or in accordance with a programme agreed in writing with the local planning authority.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Development Management Plan 2019 policy DES1.

Informative:

The use of a landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant condition. The planting of trees and shrubs shall be in keeping with the character and appearance of the locality.

7. No development shall commence until a Construction Transport Management Plan, to include details of:
 - (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) measures to prevent the deposit of materials on the highway
 - (f) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused
 - (g) on-site turning for construction vehicleshas been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: The above conditions are required in order that the development should not prejudice highway safety nor cause inconvenience to other highway users to Reigate and Banstead Development Management Plan 2019 policy DES8.

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8. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, (or any Order revoking and re-enacting that Order with or without modification), no first floor windows, dormer windows or rooflights other than those expressly authorised by this permission shall be constructed.

Reason: To ensure that the development does not affect the amenity of the neighbouring property by overlooking and to protect the visual amenities of the area in accordance with Reigate and Banstead Development Management Plan 2019 policy DES1.

9. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning areas shall be retained and maintained for their designated purposes.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

10. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for a minimum of 8 cycles to be parked. Thereafter the cycle parking areas shall be retained and maintained for their designated purposes.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the national Planning Policy Framework 2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

11. The use of the development hereby permitted shall be for supported living accommodation under Use Class C3 of the Uses Classes Order 2015 only.

Reason:

To justify the lower parking provision than required by Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

12. The development hereby approved shall not be occupied unless a communal fast charge socket has been provided (current minimum requirements - 7 kw Mode 3 with Type 2 connector - 230v AC 32 Amp single phase dedicated supply) in accordance with a scheme to be submitted and approved in writing by the Local Planning Authority and thereafter retained and maintained to the satisfaction of the Local Planning Authority.

Reason: The condition above is required in recognition of Section 9 "Promoting Sustainable Transport" in the National Planning Policy

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Framework 2019 to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, to contact the Council's Neighbourhood Services team to confirm the number and specification of recycling and refuse bins that are required to be supplied by the developer. The Council's Neighbourhood Services team can be contacted on 01737 276292 or via the Council's website at http://www.reigate-banstead.gov.uk/info/20085/planning_applications/147/recycling_and_waste_developers_guidance
4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

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5. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.

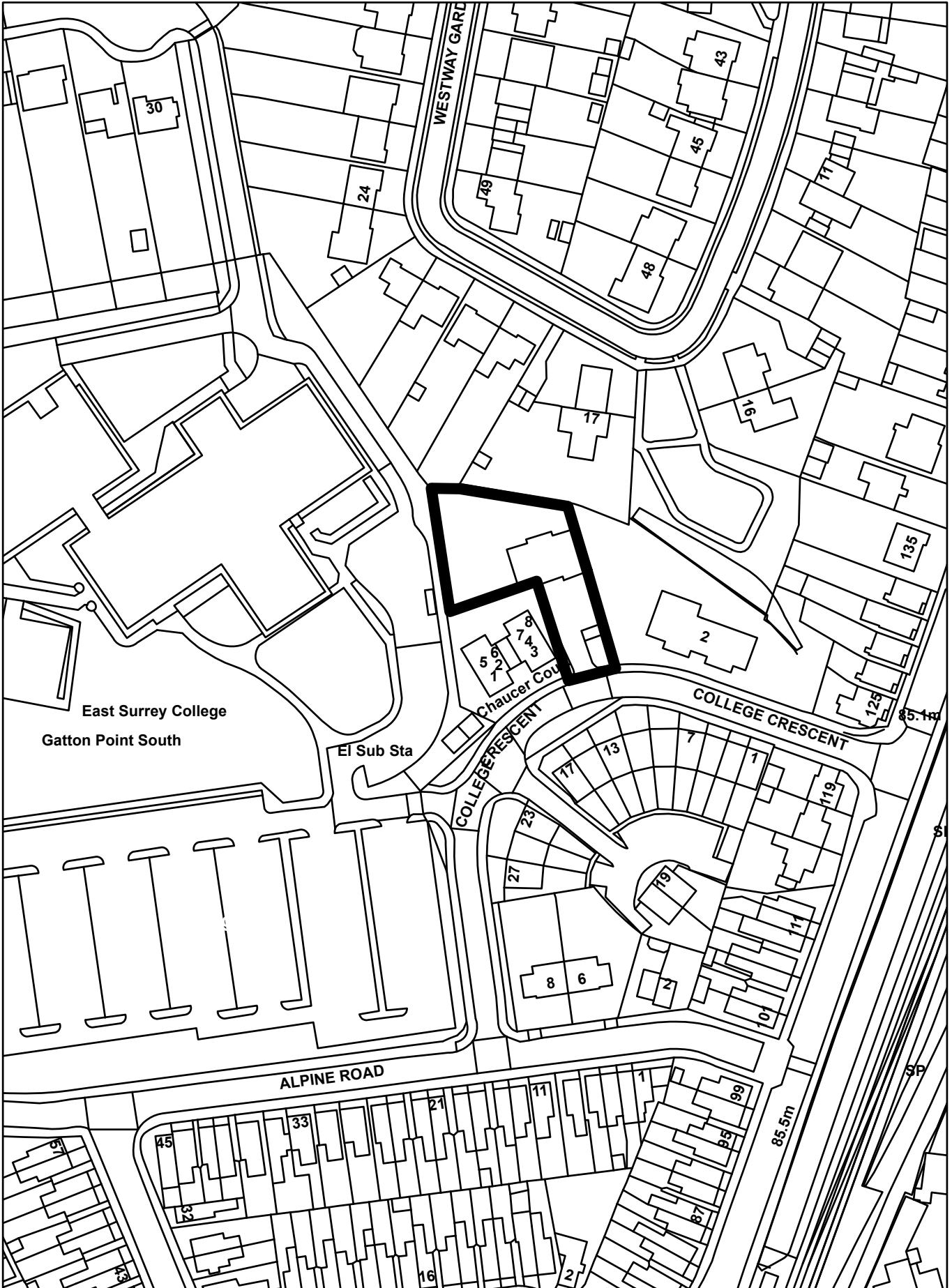
6. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses. This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate. If no application is received the Council has the authority to allocate an address. This also applies to replacement dwellings. If you are building a scheme of more than 5 units, please also supply a CAD file (back saved to 2010) of the development based on OS Grid References. Full details of how to apply for addresses can be found http://www.reigatebanstead.gov.uk/info/20277/street_naming_and_numbering

REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies CS1, CS10, CS11, CS14, CS15, CS17, DES1, DES2, DES5, DES7, DES8, TAP1, CCF1, NHE3, INF1 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

Agenda Item 9
19/02012/OUT - Chaucer Court, 4 College Crescent,
Redhill



NOTES:

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- Flat Entrance Door
- The proposal to include 4 Nr. parking spaces marked out as designated area.
- Ground Floor Flat Side Entrance
- Existing Parking
- Existing Bin Stores

Agenda Item 9

B	S3 - Outline Planning Package	07/10/19
A	S3 - Draft Information	19/09/19

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PROJECT
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 College Crescent, Redhill,
 Surrey, RH1 2LN

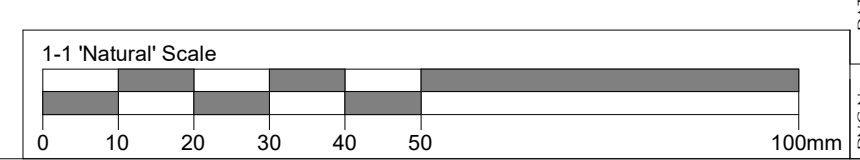
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CLIENT
 Transform Housing & Support

DATE 03/20/17
SCALE 1 : 200@A1

ENG. NO. 9794- 00-3101
REV. B

00 Proposed Site Layout
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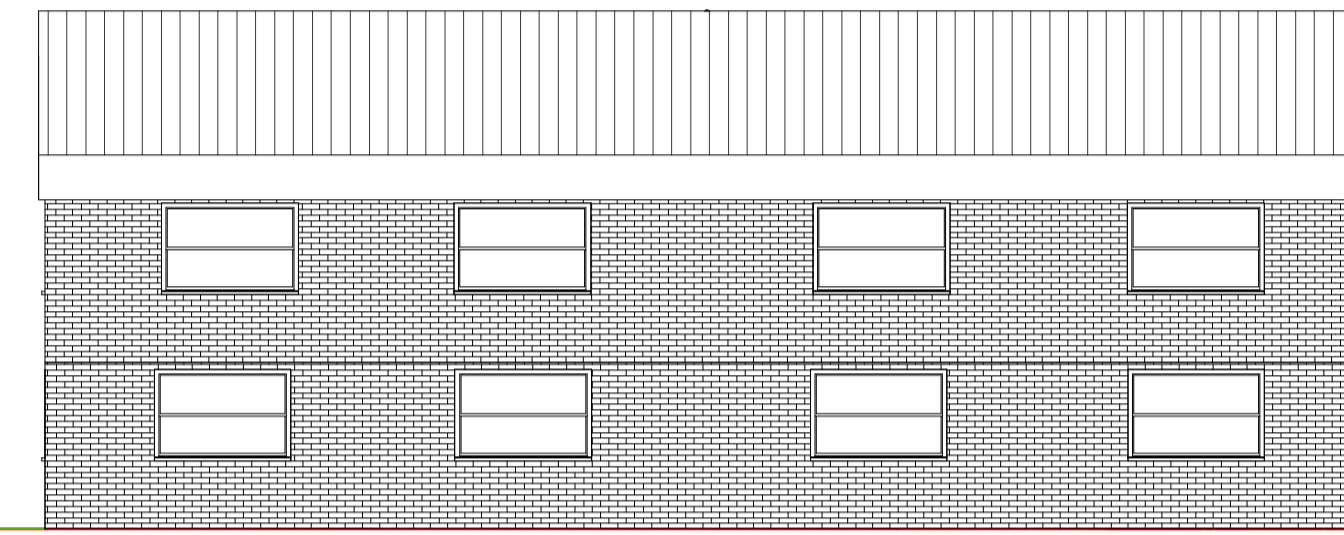
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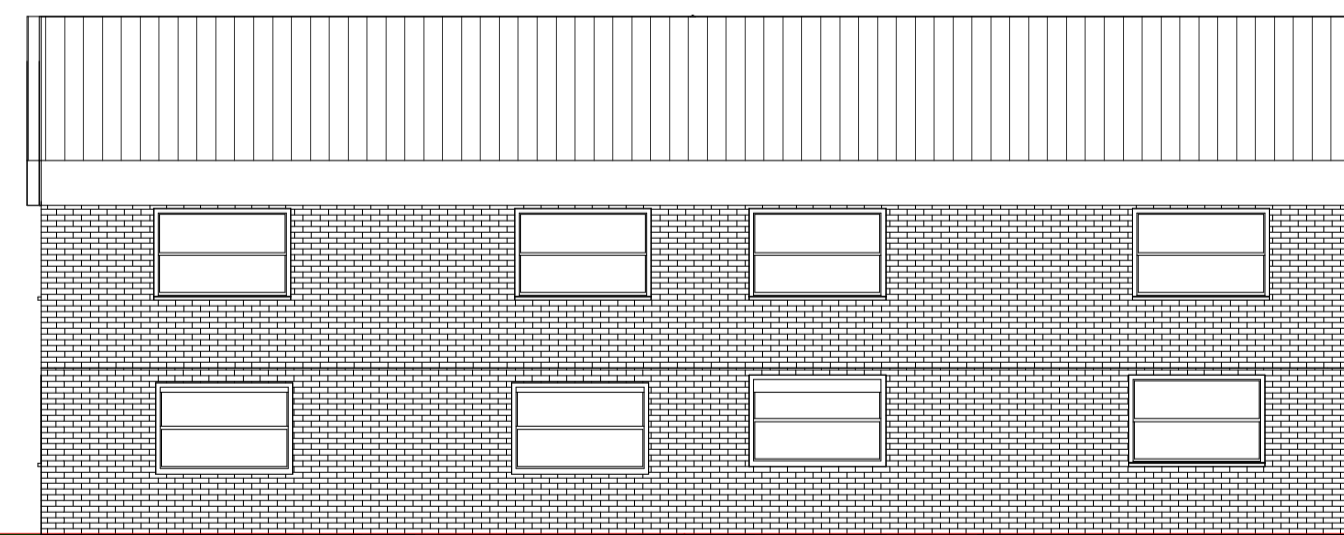
South
1 : 100



East
1 : 100



North
1 : 100



West
1 : 100

REV	Comments	Date
B	S3 - Outline Planning Package	07/10/19
A	S3 - Draft Information	19/09/19

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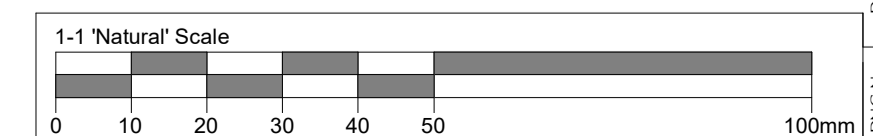
TITLE
Proposed Elevations

CLIENT
Transform Housing & Support

Author _____ **Checker** _____

DATE 03/20/17 **SCALE** 1 : 100@A1


ENG. No. 9794- ZZ-3201 **REV.** B



Agenda Item 10

Planning Committee
22 January 2020

Agenda Item: 10
DM Performance Q3 2019/20

 <p>Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate</p>	TO:	PLANNING COMMITTEE	
	DATE:	22 January 2020	
	REPORT OF:	HEAD OF PLANNING	
	AUTHORS:	Andrew Benson	
	TELEPHONE:	01737 276175	
	EMAIL:	Andrew.benson@reigate-banstead.gov.uk	
AGENDA ITEM:	10	WARD:	All

SUBJECT:	DEVELOPMENT MANAGEMENT Q2 PERFORMANCE
PURPOSE OF REPORT:	To inform members of the 2019/20 Q3 Development Management performance against a range of indicators
RECOMMENDATION:	To note the performance of Q3 of 2019/20

Planning Committee has authority to note the above recommendation

BACKGROUND

1. Development Management encompasses a wide range of planning activities including pre-application negotiations and engagement; decision making on planning applications through to compliance and enforcement.
2. It puts the Council's locally adopted development plan policies into action and seeks to achieve sustainable development.
3. It is a non-political, legislative system with all Development Management functions falling under the responsibility of the Planning Committee in the Council's Constitution. As such it is a non-Executive function falling outside the scope of the quarterly corporate performance reports that are presented to the Executive and Overview and Scrutiny Committee.
4. Development Management performance has always been monitored and reviewed in line with statutory and local targets with quarterly reports sent to the Department for Communities and Local Government. However, given that all functions of the Council as Local Planning Authority fall under the responsibility of the Planning Committee, the performance information has also been shared with the Planning Committee Chairman. This report enables the performance indicators to be noted by the Planning Committee itself.
5. This report is the third quarterly report of the 2019/20 municipal year and provides the quarterly performance at Table 1. Also provided at Table 2 is the requested performance measure, relating to the time taken in total days from receipt of a valid application to its registration and at Table 3, a breakdown on the reasons for each of the over-6 month enforcement cases.

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PERFORMANCE

	Applications determined (in 8/13 weeks or agreed ext of time)	Target	18/19	Q1	Q2	Q3
1	Major applications	60%	98%	100%	93%	75%
2	Non-major applications	70%	90%	86%	88%	91%
3	Average days to decision	73	77	73	95	73
	Appeals					
4	Appeals Received	-	81	31	21	18
5	Major Appeals Decided	-	8	0	2	2
6	Major Appeals Dismissed	70%	4 (50%)	-	1 (50%)	1 (50%)
7	Non-major appeals Decided	-	52	16	18	21
8	Non-major appeals Dismissed	70%	34 (65%)	9 (56%)	16 (88%)	15 (71%)
	Enforcement					
9	Reported Breaches Received		406	87	102	68
10	Cases Closed		451	76	120	90
11	On hand at end of period		128	139	120	116
12	Cases over 6 months old (no notice)		28	32	26	28
13	Priority 1 Enforcement cases investigated within 24 hours	100%	100%	100%	100%	100%
	Application Workload					
14	On hand at beginning		345	369	358	340
15	Received		1366	343	309	330
16	Determined		1302	335	348 314	315
17	On hand at end of period		372	366	343	335

Table 1 - Development Management performance

Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
2.9	2.6	3.8	5.3	7.1	10	3.2	2.4	4.2	3.9	4.2	3	5.3	8	6.7	5.9	4.2

Table 2 – Time taken from receipt to registration (days)

Reason for delay	Number
Awaiting submission of application	5
Awaiting outcome of application	4
Written in past month chasing information/regularisation	3
Open/ongoing prosecution	2
Awaiting Appeal	3
Expediency of harm be concluded with input from statutory consultees	1
Regularising works commenced but not yet complete	2
Chasing up of costs	2
Temporary Stop Notice Served	2
Awaiting planting of replacement tree	1
Delayed by probate	1
Awaiting compliance check	1
Service of Article 4 Direction awaited from Solicitors	1

Table 3 – Reason for enforcement investigation over 6 months

Planning applications

6. The Town and Country Planning Development Management Procedure Order

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2015 sets the statutory period for the determination of planning applications at 8 weeks for non-major applications and 13 weeks for major applications (10+ dwellings or 1,000+ sqm floorspace). This statutory period is relaxed where an extension of time is agreed between the applicant and local planning authority. In order to monitor the performance of local planning authorities, the Government sets targets for the determination of major and non-major planning applications within the statutory period or agreed extension of time. For major developments, this target is 60% and for non-major developments it is 70%.

7. In this Quarter 75% of major applications were determined within the statutory period or within agreed extension of time and 91% of non-major applications. Whilst both represent a comfortable exceedance of Government and local performance targets and also the national average, the result of 75% major applications is lower than achieved in most quarters. However, it should be borne in mind that this represents 2 out of 8 applications determined outside the target period.
8. The average days to decision for Q2 was 95 days, missing the target of 73 days as reported at the time, due to being largely down to the higher than normal number of major (13 week) applications and the determination of several old cases. As expected the indicator has come back down to 73 days in this quarter, in line with the target.

Planning appeals

9. 18 appeals were received in the quarter, and 23 major/non-major appeals determined.
10. Alongside the Government performance measure based on speed of determination of planning applications, is the other performance criteria set for local planning authorities aimed at assessing the 'quality' of decision making. This is measured as a percentage of total applications which result in an appeal allowed, broken down between major and non-major development proposals. The relevant target for both types of application is that not more than 10% of applications should be allowed at appeal.

For example –

If 100 major applications are determined by the authority over the qualifying two-year period and 9 are allowed at appeal that would result in a figure of 9% which is acceptable. However, if 100 major applications were determined and 11 of these ended up being appealed and the appeals allowed, this would result in a figure of 11% which fails the 10% target.

The assessment considers appeals allowed against applications refused by each authority across a two year period. Over this latestt period 73 applications were determined meaning 8 or more appeals allowed in the two year period to 31st December 2019 will lead to the target being missed and likely poorly performing designation together with the loss of control by virtue of the ability to submit applications directly to the Secretary of State.

11. In this last quarter another major appeal has been allowed – Winscombe House in Kingswood which was a decision by Committee against Officer recommendation subsequently dismissed at appeal. However, the appellants

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successfully challenged the decision of the Planning Inspectorate to dismiss the appeal which resulted in it being quashed. The appeal was re-determined and allowed, therefore still counting as an appeal overturn for performance measuring purposes.

12. The critical number of eight appeals allowed across the two years has not therefore been triggered but the situation remains under careful review. Given the larger number of non-major applications determined and their nature, the risk of designation on this basis is low.

Planning Enforcement

13. The enforcement performance statistics for Quarter 2 show a decrease in the number of reported breaches with a corresponding decrease in the number of cases closed.
14. Table 3 is intended to give a picture as to the reason for each of the 26 cases which remain open after 6 months. Many of these cases will have had action taken which is yet to take effect, such as temporary stop notices having been served or prosecution awaiting court proceedings.

Registration/Other

15. Table 2 shows that performance in the time taken from receipt to registration of new applications has remained relatively steady. Whilst the application workload (Table 1) shows a reduction in the number of applications on hand, with the number determined in Q2 corrected and this can be confirmed as the reason for the failure for the statistics to match up when last reviewed. This was due to a reporting error.